

GENERAL NOTES

1.

PROPERTY LINES SHOWN HEREON ARE FOR REFERENCE ONLY AND WERE PLOTTED FROM INFORMATION FOUND ON THE NEW HANOVER COUNTY GIS SYSTEM.
2.

TOPOGRAPHIC SURVEY BASED ON FIELD SURVEY COMPLETED BY W.K. DICKSON & CO., INC. DECEMBER 11, 2013.
3.

THIS PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.
4.

ELEVATIONS BASED ON VERTICAL DATUM NAVD - 88. HORIZONTAL DATUM - NAD83/2007.
5.

LOCATION OF UNDERGROUND UTILITIES IS BASED UPON LOCATION OF VISIBLE ABOVE GROUND IMPROVEMENTS, DESIGN DRAWINGS, RECORD DRAWINGS AND PAINT MARKINGS BY THE NORTH CAROLINA ONE CALL CENTER.
6.

THE SOIL TYPES PER SOIL SURVEY OF NEW HANOVER COUNTY, NORTH CAROLINA BY THE US DEPARTMENT OF AGRICULTURE AND NATURAL RESOURCE CONSERVATION SERVICE ARE:  
    Bo - BAYMEADE FINE SAND  
    Lo - LEON SAND  
    Lo - LEON-URBAN LAND COMPLEX
7.

THERE ARE NO CONSERVATION RESOURCES OR ASSOCIATED SETBACKS ON THE SITE.
8.

THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
9.

ALL WORK IS TO BE IN ACCORDANCE WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY AND THE STATE OF NORTH CAROLINA.
10.

THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
11.

ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
12.

ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
13.

REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC...
14.

CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
15.

CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE DOT.
16.

CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 1 (800) 632-4949 AND ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
17.

THERE ARE NO WETLAND IMPACTS ASSOCIATED WITH THIS PROJECT.

DEMOLITION NOTES

1.

PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING. SIGNAGE SHALL BE PLACED ON THE TREE PROTECTION FENCING IN ENGLISH AND SPANISH STATING THAT TREE PROTECTION FENCING MUST REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION PROCESS AND THAT NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
2.

TREE PROTECTION SIGNAGE SHOULD STATE "TREE PROTECTION AREA: DO NOT ENTER" IN BOTH ENGLISH AND SPANISH. SIGNS SHOULD BE ATTACHED TO FENCE/POSTS, AND SHOULD BE SPACED EVERY 50' WITH AT LEAST TWO SIGNS PER TREE PROTECTION AREA.
3.

ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
4.

NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
5.

ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
6.

CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
7.

CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE UNCLASSIFIED EXCAVATION.
8.

DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
9.

THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
10.

ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
11.

THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION IS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
12.

EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
13.

CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
14.

PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
15.

ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.

SITE NOTES

1.

TRAFFIC CONTROL DEVICES INCLUDING SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
2.

ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
3.

CONTACT TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
4.

TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
5.

ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
6.

ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
7.

STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
8.

TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
9.

ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
10.

CONTACT KAREN DIXON AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
11.

CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
12.

NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.
13.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS ISSUED AND ALL FEDERAL, STATE AND LOCAL CODES.
14.

ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
15.

THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND R.O.W'S PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
16.

CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
17.

ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
18.

DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
19.

THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
20.

THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
21.

THE SIGN CONTRACTOR WILL ERECT AND ILLUMINATE SITE IDENTIFICATION SIGNAGE PER OWNER'S SPECIFICATIONS. SEE ARCHITECTURAL PLANS.
22.

ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
23.

CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
24.

IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER.
25.

FOR BUILDING DIMENSIONS, SEE ARCHITECTURAL DRAWINGS.
26.

ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.
27.

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
28.

THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
29.

ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.

GENERAL UTILITY NOTES

1.

A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR PERMIT DETAILS.
2.

ALL UTILITIES TO SERVICE BUILDING SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND TERMINAL FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ABUTTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.
3.

WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
4.

PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
5.

IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
6.

ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 910-343-3910 FOR INFORMATION.
7.

ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
8.

ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCOHR OR ASSE.
9.

CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
10.

PRIVATE UNDERGROUND FIRE LINE(S) REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT AND INSPECTION BY THE WILMINGTON FIRE AND LIFE SAFETY DIVISION AT 910-341-0696.

11.

THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS.
12.

UNDERGROUND CONDUITS SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHENEVER POSSIBLE. THE LOCATION OF THE CONDUIT SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD. PVC SCH. 40 SLEEVES SHALL BE INSTALLED FOR ALL CONDUIT CROSSINGS UNDER PAVED AREAS.
13.

ALL WATER LINES SHALL HAVE FINAL COVER DEPTH OF 3'-0".
14.

ALL SEWER LINES SHALL HAVE A FINAL COVER DEPTH OF 3'-0".
15.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED CONSTRUCTION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO ANY EXCAVATION OR DEMOLITION.
16.

CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES AT WATERLINE CROSSINGS AND USE FITTINGS AND BENDS AS NECESSARY TO AVOID CONFLICTS.
17.

CONTRACTOR TO COORDINATE THE RELOCATION OF THE EXISTING GAS LINE TO ACCOMMODATE PROPOSED UTILITY LINES.
18.

CONTRACTOR TO SUPPORT AND/OR BRACE EXISTING UNDERGROUND UTILITIES AS NECESSARY TO CONSTRUCT PROPOSED UTILITY CONNECTIONS.
19.

NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
20.

FIRE HYDRANTS CANNOT BE FURTHER THAN 8' FROM CURB.
21.

PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANT OR FDC'S.
22.

FDC'S CAN BE NO FURTHER THAN 40' FROM FIRE DEPARTMENT VEHICLE PLACEMENT.
23.

FDC'S CAN BE NO FURTHER THAN 150' FROM A FIRE HYDRANT.

DRAINAGE NOTES

1.

ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF WILMINGTON & NCDOT SPECIFICATIONS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
2.

BEDDING FOR ALL STORM SEWER PIPES SHALL BE AS SPECIFIED IN THE DETAILS AND SPECIFICATIONS UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
3.

ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.
4.

MINIMUM COVER FOR STORM DRAINAGE PIPING SHALL BE 2-FEET. CONTRACTOR SHALL NOTIFY ENGINEER IF CONDITION CANNOT BE MET.
5.

ALL PIPES SHALL BE FLUSH WITH INSIDE WALL OF STRUCTURE.
6.

BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID IN ACCORDANCE WITH DETAILS.
7.

UNDER NO CIRCUMSTANCES SHALL WATER BE PERMITTED TO RISE IN UNBACKFILLED TRENCHES AFTER THE PIPE HAS BEEN PLACED.
8.

MATERIAL DEEMED UNSUITABLE BY THE ENGINEER FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED IN ACCORDANCE WITH SPECIFICATIONS.
9.

ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
10.

THE STORM DRAINAGE SYSTEM WILL BE SUBJECT TO A VISUAL INSPECTION BY THE ENGINEER PRIOR TO BACKFILL.
11.

RIM ELEVATIONS GIVEN ON THESE PLANS ARE APPROXIMATE AND ARE FOR INFORMATION PURPOSES ONLY. ACTUAL RIM ELEVATIONS SHALL BE SET BASED ON PROPOSED FINISHED GRADE AS STAKED IN THE FIELD.
12.

THERE ARE NO WETLAND IMPACTS ASSOCIATED WITH THIS PROJECT.

GRADING NOTES:

1.

GRADING SHOWN INDICATES FINISHED GRADES. ALL ELEVATIONS ARE IN REFERENCE TO THE TOPOGRAPHIC SURVEY BENCH MARK WHICH MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
2.

PERMANENT CUT AND FILL SLOPES PLACED ON A SUITABLE FOUNDATION SHALL BE CONSTRUCTED AT 3:1 (HORIZONTAL TO VERTICAL) MINIMUM.
3.

LIMITS OF CLEARING SHOWN ARE BASED ON CUT & FILL SLOPES AND OTHER GRADING REQUIREMENTS AND ARE APPROXIMATE. ACTUAL LIMITS SHALL BE STAKED BASED ON FINE GRADING REQUIREMENTS. CONTRACTOR SHALL NOT GRADE BEYOND THE APPROVED LIMITS OF CONSTRUCTION WITHOUT APPROVAL FROM THE ENGINEER.
4.

STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON DENUDED AREAS. ESTABLISH VEGETATION IN ACCORDANCE WITH EROSION CONTROL DETAILS AND SPECIFICATIONS.
5.

CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES AS INDICATED. NO DEVICE SHALL BE REMOVED UNTIL THE SITE IS STABILIZED.
6.

CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY WITH EXISTING GRADE.
7.

GRADING MORE THAN 1 ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS SUBJECT TO A FINE.
8.

ALL DISTURBED AREAS OUTSIDE PROPOSED BUILDING FOOTPRINT ARE TO BE STABILIZED WITH SOD UNLESS OTHERWISE NOTED.

ALL DESIGNS, SKETCHES, DRAWINGS, SPECIFICATIONS, MODELS AND SAMPLES ARE THE EXCLUSIVE PROPERTY OF THE H. CHAMBERS COMPANY, WHETHER THE JOB FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. UNAUTHORIZED USE OF THESE DESIGNS, ETC., FOR ANY OTHER PURPOSE IS PROHIBITED.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB INCLUDING BUILDING, ELEVATOR AND CORRIDOR CLEARANCES WHERE JOB CONDITIONS PREVENT OBTAINING DIMENSIONS, OR RESULTS AS SHOWN OR SPECIFIED. CHECK WITH THE H. CHAMBERS COMPANY BEFORE PROCEEDING WITH THE WORK.

Issue

	TYPE	DATE
●	SCHEMATIC DESIGN	12.18.13
●	DESIGN DEVELOPMENT	05.23.14
●	100% CD	06.27.14
●	BID AND PERMIT SET	07.25.14
	FOR CONSTRUCTION	-

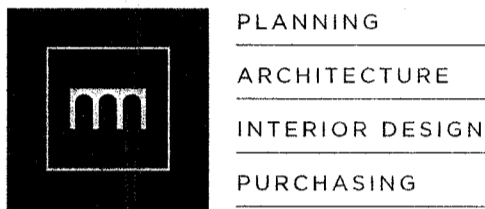
Revisions

NO.	TYPE	DATE

SEAL



**CHAMBERS**  
ARCHITECTURAL ASSOCIATES



ARCHITECT & INTERIORS  
CHAMBERS  
1800 WASHINGTON BLVD.  
SUITE 111  
BALTIMORE, MARYLAND 21230  
PHONE: (410) 727-4535  
FAX: (410) 727-6982



community infrastructure consultants  
Transportation + Water Resources  
Urban Development + Geomatics

909 MARKET STREET  
WILMINGTON, NC 28401  
(t) (910) 762-4200  
(f) (910) 762-4201

www.wkdickson.com  
LICENSE NO. F-0374  
DENISE L. FREUND, PE



FAMILY ACTIVITY  
CENTER - CAPE FEAR  
COUNTRY CLUB  
1518 COUNTRY CLUB ROAD

Sheet Title

NOTES

Scale: AS SHOWN

Date: 07/25/14

Drawn By: HRW

Checked By: DLF

Job No.: 20130125.00.WL

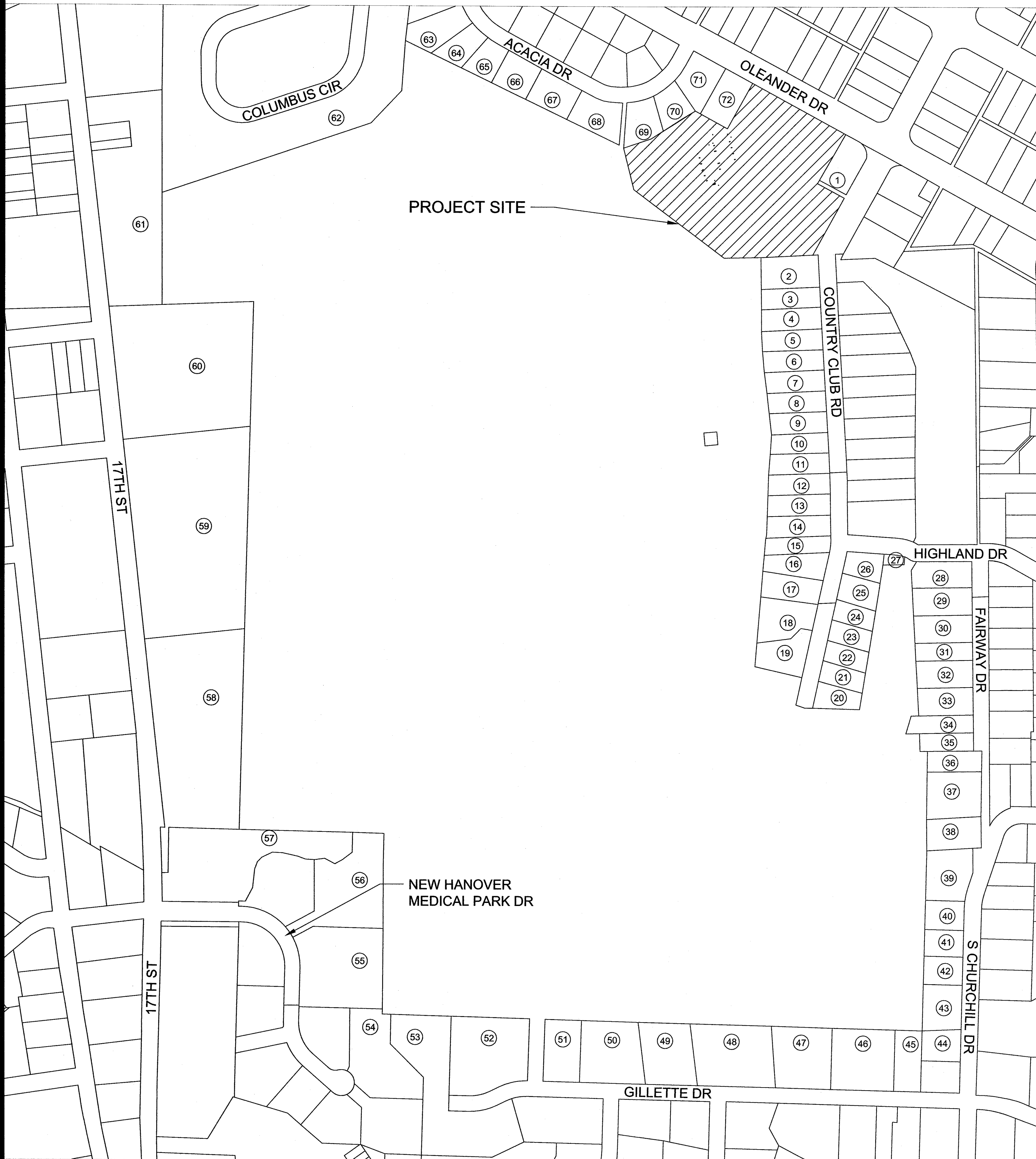
Sheet Number

C.00

FINAL DESIGN – NOT RELEASED FOR CONSTRUCTION

## PROJECT AREA MAP

SCALE 1" = 250'



## NOTE:

THE PARCEL LINES SHOWN HEREON ARE FOR REFERENCE ONLY AND WERE PLOTTED FROM INFORMATION FOUND ON THE NEW HANOVER COUNTY GIS SYSTEM.



## Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_



## APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

PARCEL ID	OWNER	ZONING	LAND USE	DEED BOOK	PAGE
1	CAPE FEAR COUNTRY CLUB INC	R-15-RESIDENTIAL DISTRICT	958-UNUSED LAND	3024	0547
2	TURLINGTON ROSCOE H REV TRUST ETAL	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5083	1082
3	TURLINGTON HAROLD LESTER ETAL	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	2499	0271
4	POOLE WILLIAM E JEANNE W	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5669	0280
5	RUSH GRANT A MARILYN C	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5591	2768
6	BASHFORD CYNTHIA Q	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	9806	2996
7	JRS INVESTMENTS LLC	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5802	0226
8	TAYLOR WALKER IV AMELIA F C	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	1686	1365
9	BROWNLOW DAVID K HANNAH H	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	1685	0330
10	STANFIELD WILLIAM W III ROBIN BULLARD	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5231	799
11	ZIMMER LONDON G	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5348	2367
12	COOPER JOHN A MICHELLE	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	3835	0001
13	BARKER JAMES C ETAL	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5216	2506
14	REID CHRISTOPHER N CLAIRE H	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5659	2295
15	ERICHSEN DAVID H	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5772	0814
16	CHERRY WILLIAM R KATHERINE S	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5573	1585
17	WELLS ELIZABETH WEBB	R-15-RESIDENTIAL DISTRICT	958-UNDER CONSTRUCTION	5637	2438
18	UNDERWOOD NEIL L LINDA	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5572	1764
19	DOZIER WILLIAM H ELIZABETH M	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	4332	0431
20	LEWIS FREDERICK W III ETAL	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5350	2254
21	THOMAS MARTHA ROBINSON ETAL	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	2123	0178
22	LEWIS FREDERICK W III ETAL	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	0573	0150
23	TILLERY WADE H HRS	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	9901	0205
24	LYNCH JEAN FLOYD	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	9999	E781
25	RANEY WILLIAM A JR JANE H	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	1521	0535
26	EDWARD GEORGE RICHARD JR JESSICA	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5477	1030
27	CAPE FEAR COUNTRY CLUB	R-15-RESIDENTIAL DISTRICT	958-UNUSED LAND	NOT IN SYSTEM	
28	ARNETTE BARRY LYNN	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	2921	0947
29	REYNOLDS FRANK R	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	9901	2313
30	TILLERY WADE HAMPTON III	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5125	1565
31	PITT WILLIAM HOWARD III MARY E	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	2319	0329
32	SIFLY HALL JOHNSTON	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5780	0629
33	SPRUNT KENNETH M JR GLORIA C	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5587	1438
34	EDDENS BARBARA	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	9901	1413
35	MERTZ C OAKLEY MARY L	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	4740	0877
36	HAMILTON FRANK H III BERTA S	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5296	1638
37	CAIN BARBARA E ETAL	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5536	1982
38	WEINBERG ADAM W ELIZABETH S	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5039	1692
39	WATSON JESSICA RAE	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5711	2520
40	STOPHEL PHILIP W BRENDA D	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	9910	1700
41	CUSTER SCOTT M BETSY B	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5690	1900
42	MAHAN JAMES S IV MARY CATHERINE	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5728	1308
43	MASSEY DAVID S MARGARET A	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	2424	0145
44	WATSON JESSICA R	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5143	2542
45	BONEY LILLIAN B	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	9906	1903
46	BONEY LILLIAN B	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	9906	1903
47	SNEEDEN ELNORA G	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	9905	1185
48	LENSCH DAVID P TERRLYN D	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	2237	0481
49	DEAN CHARLES D JR MARY K	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5430	421
50	BONEY CHARLES H	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	2357	0366
51	BONEY CHARLES H	R-15-RESIDENTIAL DISTRICT	958-UNUSED LAND	NO	DATA
52	AG&D LLC	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5667	0552
53	AG&D LLC	R-15-RESIDENTIAL DISTRICT	958-UNUSED LAND	5677	2135
54	AG&D LLC	O&I-1-OFFICE & INSTITUTION	958-UNUSED LAND	5677	2147
55	SBS II LLC	O&I-1-OFFICE & INSTITUTION	804-OTHER	2862	0249
56	WILCAR PROPERTIES LLC	O&I-1-OFFICE & INSTITUTION	804-OTHER	4733	0776
57	ROXANNA LLC	O&I-1-OFFICE & INSTITUTION	958-UNUSED LAND	4962	2310
58	WILMINGTON SURGCARE INC	O&I-1-OFFICE & INSTITUTION	801-PHYSICIAN	4238	0001
59	17TH STREET WPG LLC	O&I-1-OFFICE & INSTITUTION	958-UNUSED LAND	5089	1309
60	JOHNSTON BLAKELY LODGE	O&I-1-OFFICE & INSTITUTION	841-CULTURAL OR NATURE EXHIBITION	1001	0389
61	NEW HANOVER COUNTY	O&I-1-OFFICE & INSTITUTION	958-UNUSED LAND	1309	1329
62	COLUMBUS PROPERTIES LLC	MF-M-MULTI FAMILY MED DEN	12-3 + FAMILY RESIDENTIAL	3457	0973
63	BLALOCK V W JR ANN C LIFE EST	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5003	1336
64	ROWE WILLIAM MERCER III ANGELA B	R-15-RESIDENTIAL DISTRICT	958-UNUSED LAND	5436	2732
65	ROWE WILLIAM MERCER III ANGELA B	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5436	2732
66	SLOAN JAMES B BLAIR M	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	1313	1374
67	ROBISON MARVIN O MARGARET T	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	4871	2506
68	WRIGHT ELIZABETH L REVOCABLE TRUST	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5688	2429
69	PERSECHINI ELLEN J ETAL	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5457	1358
70	BENSON E S JR DR	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	0912	0066
71	PAGE SHANNON H	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	5523	2232
72	ARTHUR CATHERINE H HRS	R-15-RESIDENTIAL DISTRICT	10-1 FAMILY RESIDENTIAL	0460	0210

ALL DESIGNS, SKETCHES, DRAWINGS, SPECIFICATIONS, MODELS AND SAMPLES ARE THE EXCLUSIVE PROPERTY OF THE H. CHAMBERS COMPANY. WHATEVER THE JOB FOR WHICH THEY ARE MADE IS EXECUTED OR NOT, UNAUTHORIZED USE OF THESE DESIGNS ETC. FOR ANY OTHER PURPOSE IS PROHIBITED.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB INCLUDING BUILDING, ELEVATOR AND CORRIDOR CLEARANCES WHERE JOB CONDITIONS PREVENT OBTAINING DIMENSIONS OR RESULTS AS SHOWN OR SPECIFIED. CHECK WITH THE H. CHAMBERS COMPANY BEFORE PROCEEDING WITH THE WORK.

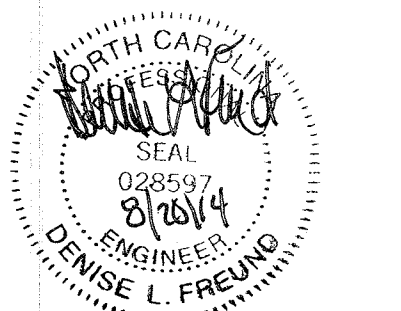
## Issue

	TYPE	DATE
●	SCHEMATIC DESIGN	12.18.13
●	DESIGN DEVELOPMENT	05.23.14
●	100% CD	06.27.14
●	BID AND PERMIT SET FOR CONSTRUCTION	07.25.14

## Revisions

NO.	TYPE	DATE

SEAL



## CHAMBERS ARCHITECTURAL ASSOCIATES



ARCHITECT & INTERIORS  
CHAMBERS  
1800 WASHINGTON BLVD.  
SUITE 111  
BALTIMORE, MARYLAND 21230  
PHONE: (410) 727-4535  
FAX: (410) 727-6982

**WK DICKSON**  
community infrastructure consultants  
Transportation + Water Resources  
Urban Development + Geomatics

909 MARKET STREET  
WILMINGTON, NC 28401  
(t) (910) 762-4200  
(f) (910) 762-4201  
www.wkdickson.com  
LICENSE NO. F-0374  
DENISE L. FREUND, PE



FAMILY ACTIVITY  
CENTER - CAPE FEAR  
COUNTRY CLUB  
1518 COUNTRY CLUB ROAD

## Sheet Title

ADJACENT PROPERTY  
INFORMATION

Scale: AS SHOWN

Date: 07/25/14

Drawn By: HRW

Checked By: DLF

Job No.: 20130125.00.WL

Sheet Number

**C.01**

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

CAPE FEAR COUNTRY CLUB INC.  
PARID: R05415-003-006-000  
BK 2386 PG 0257 (PER NHC REGISTER OF DEEDS)

EXISTING TENNIS COURTS FENCING,  
LIGHTING AND IRRIGATION TO REMAIN

EX. INLETS AND PIPING  
TO REMAIN  
PROTECT EX.  
LIGHT POLE  
TENNIS COURTS

MAINTENANCE BUILDING  
TO BE REMOVED

CONTRACTOR TO  
PROTECT EXISTING 24"  
RCP TO REMAIN

OWNER TO RELOCATE CANVAS  
CANOPY PRIOR TO CONSTRUCTION  
6" WATER LINE TO REMAIN

ELECTRICAL VAULT TO  
BE RELOCATED  
(SEE ELECTRICAL PLANS)

EXISTING WALL TO REMAIN

EXISTING TENNIS COURTS FENCING,  
LIGHTING AND IRRIGATION TO REMAIN

EXISTING FENCE TO REMAIN

EXISTING BUILDING, PORCHES AND  
SIDEWALKS TO BE DEMOLISHED  
(SEE ARCHITECTURAL PLANS)

PROTECT EXISTING LIGHTS AND  
SPRINKLERS

EXISTING TENNIS COURTS FENCING,  
LIGHTING AND IRRIGATION TO REMAIN

EXISTING PLANTER TO REMAIN

OWNER TO RELOCATE CANVAS  
CANOPY PRIOR TO CONSTRUCTION

REMOVE COVERED PORCH

REMOVE TRENCH DRAIN

REMOVE METAL FENCE

BUILDING AND PORCH  
TO BE DEMOLISHED

REMOVE EX. CURB AND GUTTER

REMOVE EX. CURB AND GUTTER

REMOVE EX. CURB AND GUTTER

REMOVE EX. CURB AND GUTTER

REMOVE EX. CURB AND GUTTER

REMOVE EX. CURB AND GUTTER

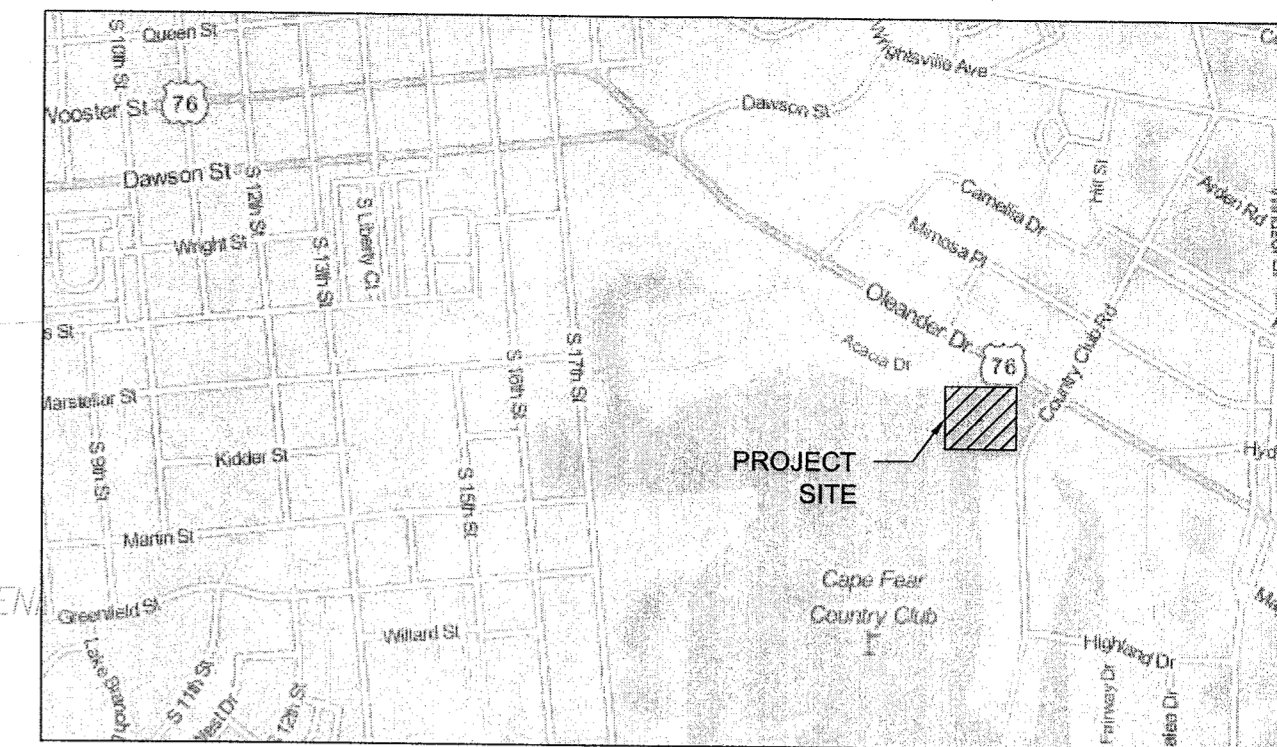
REMOVE EX. CURB AND GUTTER

REMOVE EX. CURB AND GUTTER

REMOVE EX. CURB AND GUTTER

REMOVE EX. CURB AND GUTTER

REMOVE EX. CURB AND GUTTER



VICINITY MAP  
SCALE 1" = 1,000'

NOTES:

- CONTRACTOR TO REMOVE IRRIGATION SYSTEMS FOR TWO EXISTING TENNIS COURTS AND LANDSCAPE AREAS WITHIN PROJECT LIMITS.
- CONTRACTOR TO PROVIDE WATER SUPPLY, POWER AND PIPING SUCH THAT IRRIGATION SYSTEMS OUTSIDE OF THE PROJECT AREA CONTINUE TO OPERATE THROUGHOUT CONSTRUCTION OPERATIONS.
- CONTRACTOR TO PROTECT EXISTING ELEMENTS TO REMAIN.
- CONTRACTOR TO COORDINATE WITH OWNER TO DETERMINE TENNIS COURT APPURTENANCES TO BE RETAINED BY OWNER AFTER REMOVAL (FENCE, LIGHTING, COURT ACCESSORIES, ETC.). CONTRACTOR TO DELIVER AND STOCKPILE THESE ITEMS TO LOCATION SPECIFIED BY OWNER. CONTRACTOR SHALL EXERCISE CARE IN REMOVAL OF THESE ITEMS TO AVOID DAMAGE DURING REMOVAL AND STORAGE. REMAINING ITEMS SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF SITE.
- ANY BOLLARDS WITHIN THE LIMITS OF DISTURBANCE TO BE REMOVED WITHOUT DAMAGING THEM AND REUSED ON SITE (SEE ARCHITECTURAL PLANS FOR PROPOSED BOLLARD LOCATIONS).
- CONTRACTOR TO COORDINATE WITH OWNER AND MAINTAIN ACCESS TO SWIMMING AREAS DURING DEMOLITION AND CONSTRUCTION OF THE PROJECT.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING. SIGNAGE SHALL BE PLACED ON THE TREE PROTECTION FENCING IN ENGLISH AND SPANISH STATING THAT TREE PROTECTION FENCING MUST REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION PROCESS AND THAT NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- TREE PROTECTION SIGNAGE SHOULD STATE "TREE PROTECTION AREA: DO NOT ENTER" IN BOTH ENGLISH AND SPANISH. SIGNS SHOULD BE ATTACHED TO FENCE/POSTS, AND SHOULD BE SPACED EVERY 50' WITH AT LEAST TWO SIGNS PER TREE PROTECTION AREA.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION ME. SEE SHEET C.05 FOR EROSION CONTROL PLAN.

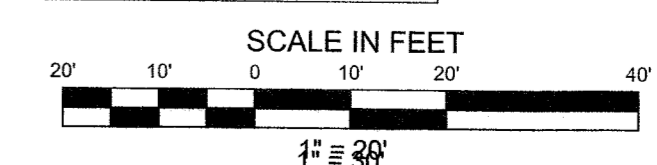
WILMINGTON  
NORTH CAROLINA  
Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

WILMINGTON  
NORTH CAROLINA  
Public Services Engineering Division  
APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

For each open utility cut of  
City streets, a \$325 permit  
shall be required from the  
City prior to occupancy and  
or project acceptance.



BEFORE YOU DIG!  
CALL 1-800-632-4949  
N.C. ONE-CALL CENTER  
IT'S THE LAW!

LEGEND

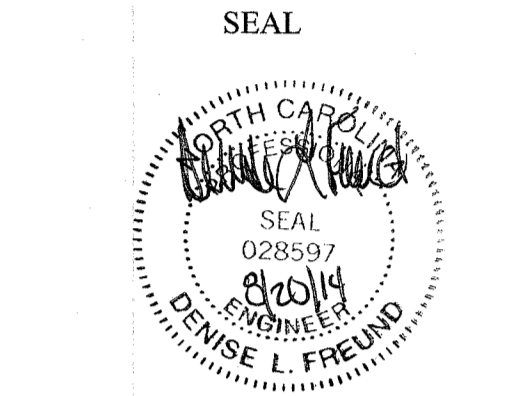
- LIMITS OF DISTURBANCE
- BUILDING TO BE REMOVED
- ASPHALT TO BE REMOVED
- CONCRETE TO BE REMOVED
- CURB AND GUTTER TO BE REMOVED
- LANDSCAPING TO BE REMOVED
- WALL TO BE REMOVED
- PIPE TO BE REMOVED
- TREE TO BE REMOVED
- TREE PROTECTION FENCING

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

ALL DESIGNS, SKETCHES, DRAWINGS, SPECIFICATIONS,  
MODELS AND SAMPLES ARE THE EXCLUSIVE PROPERTY  
OF THE H. CHAMBERS COMPANY, WHETHER THE JOB  
FOR WHICH THEY ARE MADE IS EXECUTED OR NOT.  
UNAUTHORIZED USE OF THESE DESIGNS ETC. FOR ANY  
OTHER PURPOSE IS PROHIBITED.

Issue	TYPE	DATE
1	SCHEMATIC DESIGN	12.18.13
2	DESIGN DEVELOPMENT	05.23.14
3	100% CD	06.27.14
4	BID AND PERMIT SET	07.25.14
5	FOR CONSTRUCTION	-

Revisions	NO.	TYPE	DATE
1			
2			
3			
4			
5			



CHAMBERS  
ARCHITECTURAL ASSOCIATES  
PLANNING  
ARCHITECTURE  
INTERIOR DESIGN  
PURCHASING

ARCHITECT & INTERIORS  
CHAMBERS  
1800 WASHINGTON BLVD.  
SUITE 111  
BALTIMORE, MARYLAND 21230  
PHONE: (410) 727-4535  
FAX: (410) 727-6982

WK  
DICKSON  
community infrastructure consultants  
Transportation + Water Resources  
Urban Development + Geomatics

909 MARKET STREET  
WILMINGTON, NC 28401  
(t) (910) 762-4200  
(f) (910) 762-4201  
www.wkdickson.com  
LICENSE NO. F-0374  
DENISE L. FREUND, PE

1896  
FAMILY ACTIVITY  
CENTER - CAPE FEAR  
COUNTRY CLUB  
1518 COUNTRY CLUB ROAD

Sheet Title

DEMOLITION PLAN

Scale: AS SHOWN

Date: 07/25/14

Drawn By: HRW

Checked By: DLF

Job No.: 20130125.00.WL

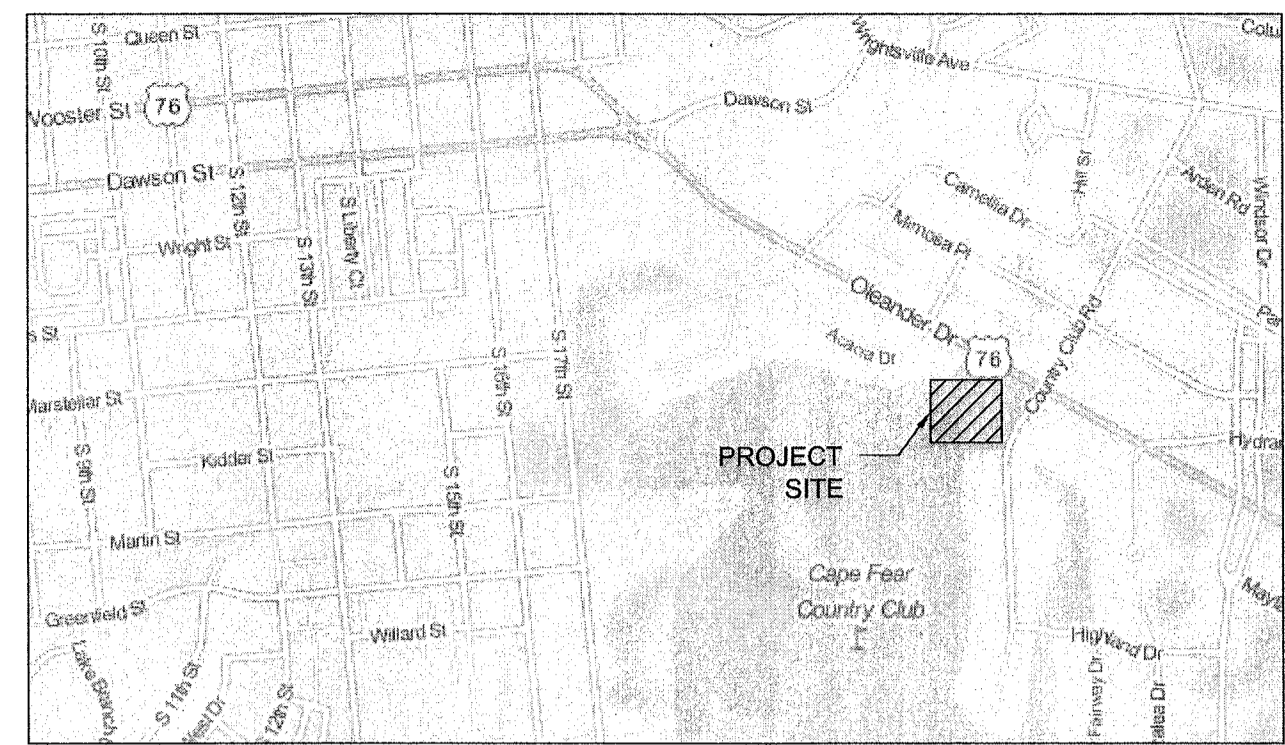
Sheet Number

C.02

CAPE FEAR COUNTRY CLUB INC.  
PARID: R05415-003-006-000  
BK 2386 PG 0257 (PER NHC REGISTER OF DEEDS)

NOTES:

- CONTRACTOR TO PROVIDE NEW BIKE RACK AT LOCATION INDICATED ON PLAN. BIKE RACK TO ACCOMMODATE A MINIMUM OF FIVE BICYCLES AND MATCH APPEARANCE/MATERIALS OF EXISTING BIKE RACK. PROVIDE SHOP DRAWINGS OF PROPOSED BIKE RACK TO OWNER FOR APPROVAL PRIOR TO ORDERING RACK.
- SEE CROSSWALK SECTION ON PLAN SHEET C.09.
- CONTRACTOR TO COORDINATE WITH OWNER AND PROVIDE ACCESS TO SWIMMING AREA DURING DEMOLITION AND CONSTRUCTION OF THE PROJECT.
- CONTRACTOR TO DESIGN AND PROVIDE SPORT LIGHTING FOR COURTS CONSISTENT WITH EXISTING TENNIS COURT LIGHTING. CONTRACTOR TO AVOID CONFLICTS WITH PROPOSED IMPROVEMENTS.



VICINITY MAP

SCALE 1" = 1,000'

SITE INFORMATION

PROJECT ADDRESS: 1518 COUNTRY CLUB ROAD  
NEW HANOVER COUNTY P.I.N.: R05415-003-006-000  
CURRENT ZONING DISTRICT: R-15, RESIDENTIAL  
CURRENT LAND USE: RECREATION FACILITY (PRIVATE)  
IBC BUILDING CONSTRUCTION TYPE: FAC - TYPE 5B / MAINTENANCE BLDG - TYPE 5B  
BUILDING SETBACK:

	REQUIRED	PROPOSED BUILDING 1 (FAC)	PROPOSED BUILDING 2 (MAINT. BLDG)
NORTH (SIDE)	10'	219.4'	18.8'
SOUTH (SIDE)	10'	272.8'	99.4'
EAST (FRONT)	30'	310.7'	548'
WEST (REAR)	25'	1900'+	1900'+

LOT SIZE:

REQUIRED	15,000 SF
PROVIDED	2,522,124 SF (57.9 ACRES)

BUILDING SIZE:

EXISTING BUILDING(S) AREA	
EXISTING BUILDING(S) CURRENT AREA	70,300 SF (5 EXISTING BUILDINGS)
EXISTING BUILDING(S) AREA TO BE REMOVED	2,800 SF (2 EXISTING BUILDINGS)
EXISTING BUILDING(S) AREA TO BE INCORPORATED INTO PROPOSED BUILDING (FAC)	1,434 SF (1 EXISTING BUILDING)
EXISTING BUILDING(S) AREA TO REMAIN	66,066 SF (2 EXISTING BUILDINGS)

PROPOSED BUILDING(S):

BUILDING 1 (FAC)	
HEIGHT	33.22' (35' MAXIMUM FOR R-15 ZONING)
FLOOR 1 AREA	11,395 SF (INCLUDES 1,434 SF OF EXISTING BUILDING)
FLOOR 2 AREA	11,333 SF
TOTAL AREA	22,728 SF
BUILDING 2 (MAINTENANCE BUILDING)	
HEIGHT	12.06' (35' MAXIMUM FOR R-15 ZONING)
FLOOR 1 AREA	480 SF
TOTAL AREA	480 SF
PROPOSED BUILDING TOTAL AREA	23,208 sf
TOTAL BUILDING AREA:	
EXISTING	66,066 SF
PROPOSED	23,208 SF
TOTAL	89,274 SF

% BUILDING LOT COVERAGE:

(89,274 SF / 2,522,124 SF) = 3.5%

IMPERVIOUS SURFACE AREAS:

IMPERVIOUS SURFACE AREA BEFORE DEVELOPMENT:	433,422 SF (9.95 AC)*
* INCLUDES 28,430 SF IMPERVIOUS SURFACE FOR FUTURE DEVELOPMENT	

NEW IMPERVIOUS SURFACE AREA WITH DEVELOPMENT:

BUILDING, SIDEWALKS AND TENNIS COURTS:	7,264 SF (0.17 AC)
REMAINING IMPERVIOUS SURFACE FOR FUTURE DEVELOPMENT	21,665 SF (0.49 AC)
IMPERVIOUS SURFACE AREA AFTER DEVELOPMENT	433,422 SF (10.10 AC)
% IMPERVIOUS AFTER DEVELOPMENT	(433,422 SF / 2,522,124) = 17.2%

OFF STREET PARKING CALCULATIONS (1 SPACE PER 400 SF):

BUILDING AREA	89,274 SF
PARKING SPACES REQUIRED	89,274 SF / 400 SF = 224 SPACES
PARKING SPACES PROVIDED	307 EXISTING PARKING SPACES

NO NEW PARKING SPACES ARE PROPOSED WITH THIS PROJECT  
22,728 SF  
PARKING SPACES REQUIRED 22,728 SF / 400 SF = 57 SPACES  
2 BIKE RACKS REQUIRED 12 PROVIDED 1 VAN ACCESSIBLE  
3 HANDICAP PARKING SPACES REQUIRED 13 PROVIDED 1 VAN ACCESSIBLE

CAMA LAND USE CLASSIFICATION: URBAN

RECEIVING STREAM, CLASS AND INDEX: GREENFIELD LAKE; C, SW; 18-76-1

ALL DESIGNS, SKETCHES, DRAWINGS, SPECIFICATIONS, NOTES AND SAMPLES ARE THE EXCLUSIVE PROPERTY OF THE H. CHAMBERS COMPANY, WHETHER THE JOB FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. UNAUTHORIZED USE OF THESE DESIGNS ETC. FOR ANY OTHER PURPOSE IS PROHIBITED.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE ARE INCLUDING BUILDING, ELEVATOR AND CORRIDOR CLEARANCES WHERE FOR CONDITIONS PREVENT OBTAINING DIMENSIONS, OR RESULTS AS SHOWN OR SPECIFIED. CHECK WITH THE H. CHAMBERS COMPANY BEFORE PROCEEDING WITH THE WORK.

Issue

	TYPE	DATE
●	SCHEMATIC DESIGN	12.18.13
●	DESIGN DEVELOPMENT	05.23.14
●	100% CD	06.27.14
●	BID AND PERMIT SET	07.25.14
	FOR CONSTRUCTION	-

Revisions

NO.	TYPE	DATE

SEAL



CHAMBERS  
ARCHITECTURAL ASSOCIATES



ARCHITECT & INTERIORS  
CHAMBERS  
1800 WASHINGTON BLVD.  
SUITE 111  
BALTIMORE, MARYLAND 21230  
PHONE: (410) 727-4535  
FAX: (410) 727-6982

WK  
DICKSON  
community infrastructure consultants  
Transportation + Water Resources  
Urban Development + Geomatics

909 MARKET STREET  
WILMINGTON, NC 28401  
(t) (910) 762-4200  
(f) (910) 762-4201  
www.wkdickson.com  
LICENSE NO. F-0374  
DENISE L. FREUND, PE



FAMILY ACTIVITY  
CENTER - CAPE FEAR  
COUNTRY CLUB  
1518 COUNTRY CLUB ROAD

Sheet Title

SITE LAYOUT PLAN

Scale: AS SHOWN

Date: 07/25/14

Drawn By: HRW

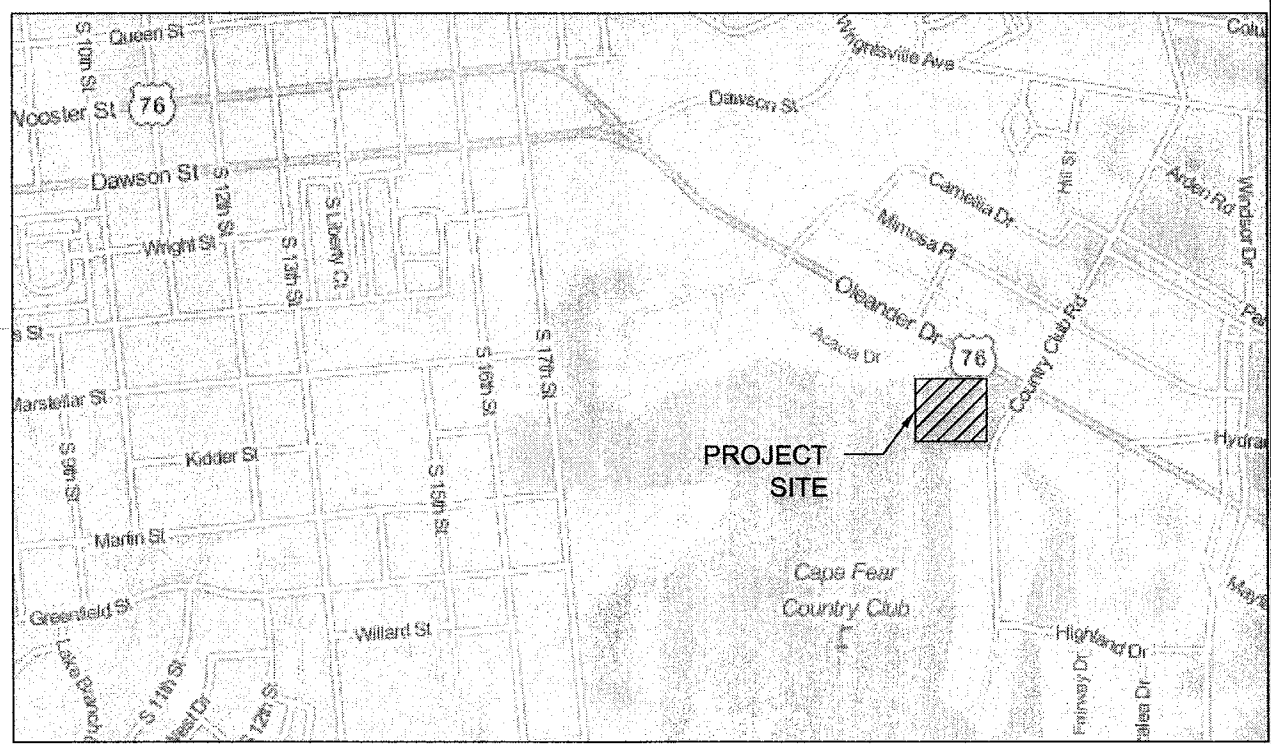
Checked By: DLF

Job No.: 20130125.00.WL

Sheet Number

C.03

CAPE FEAR COUNTRY CLUB INC.  
PARID: R05415-003-006-000  
BK 2386 PG 0257 (PER NHC REGISTER OF DEEDS)



VICINITY MAP  
SCALE 1" = 1,000'

ALL DESIGNS, SKETCHES, DRAWINGS, SPECIFICATIONS, MODELS AND SAMPLES ARE THE EXCLUSIVE PROPERTY OF THE H. CHAMBERS COMPANY, WHETHER THE JOB FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. UNAUTHORIZED USE OF THESE DESIGNS ETC. FOR ANY OTHER PURPOSE IS PROHIBITED.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB INCLUDING BUILDING, ELEVATOR AND CORRIDOR CLEARANCES WHERE JOB CONDITIONS PREVENT OBTAINING DIMENSIONS, OR RESULTS AS SHOWN OR SPECIFIED. CHECK WITH THE H. CHAMBERS COMPANY BEFORE PROCEEDING WITH THE WORK.

#### Issue

TYPE	DATE
SCHEMATIC DESIGN	12.18.13
DESIGN DEVELOPMENT	05.23.14
100% CD	06.27.14
BID AND PERMIT SET	07.25.14
FOR CONSTRUCTION	-

#### Revisions

NO.	TYPE	DATE

SEAL



**CHAMBERS**  
ARCHITECTURAL ASSOCIATES

PLANNING  
ARCHITECTURE  
INTERIOR DESIGN  
PURCHASING

ARCHITECT & INTERIORS  
CHAMBERS  
1800 WASHINGTON BLVD.  
SUITE 111  
BALTIMORE, MARYLAND 21230  
PHONE: (410) 727-4535  
FAX: (410) 727-6982

**WK DICKSON**  
community infrastructure consultants  
Transportation + Water Resources  
Urban Development + Geomatics

909 MARKET STREET  
WILMINGTON, NC 28401  
(t) (910) 762-4200  
(f) (910) 762-4201  
www.wkdickson.com  
LICENSE NO. F-0374  
DENISE L. FREUND, PE



FAMILY ACTIVITY  
CENTER - CAPE FEAR  
COUNTRY CLUB  
1518 COUNTRY CLUB ROAD

Sheet Title

GRADING PLAN

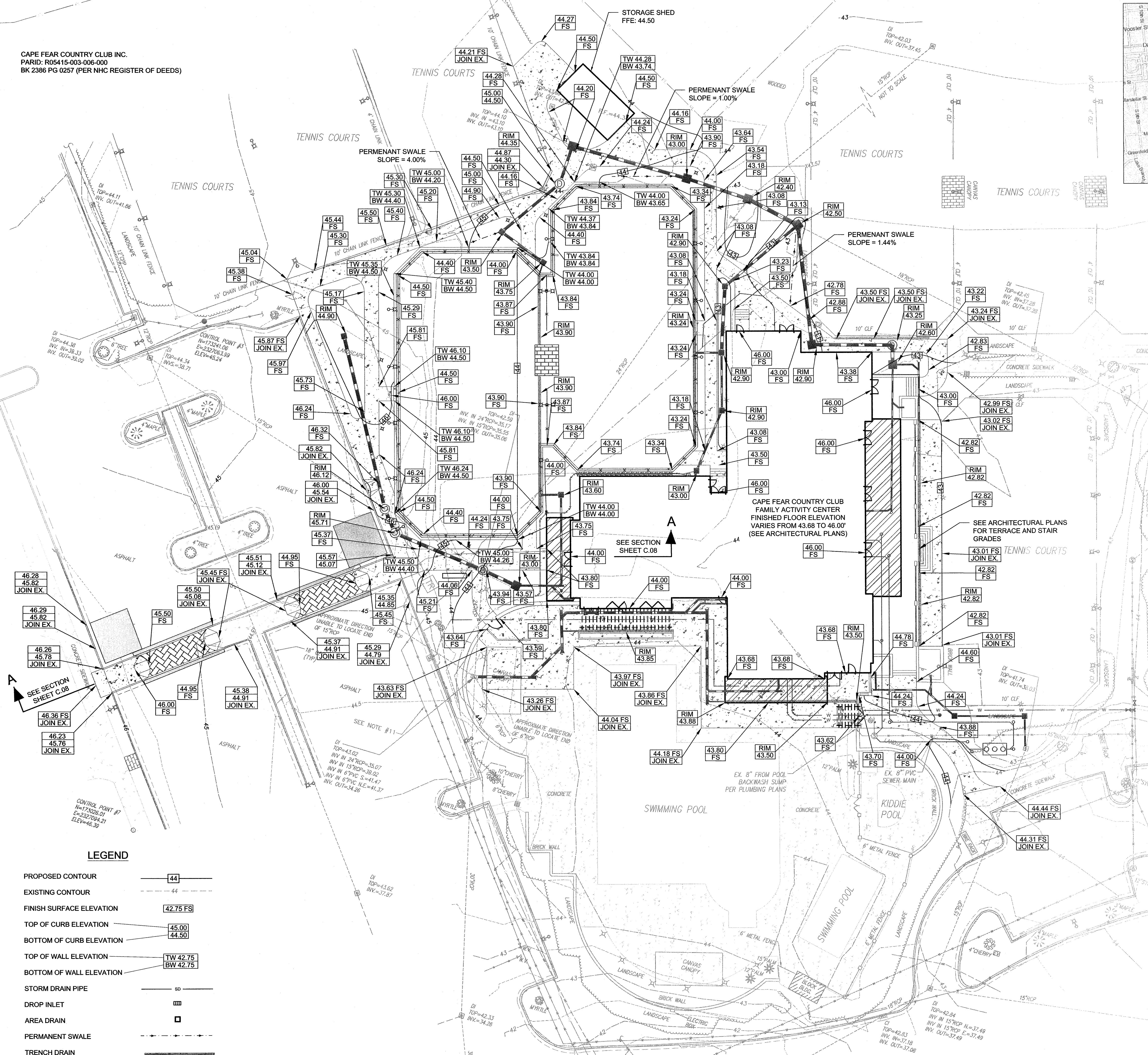
Scale: AS SHOWN  
Date: 07/25/14  
Drawn By: HRW  
Checked By: DLF  
Job No.: 20130125.00.WL  
Sheet Number

**C.04**



SCALE IN FEET  
1" = 20'

BEFORE YOU DIG!  
CALL 1-800-632-4349  
N.C. ONE-CALL CENTER  
IT'S THE LAW!



#### LEGEND

- PROPOSED CONTOUR 44
- EXISTING CONTOUR 44
- FINISH SURFACE ELEVATION 42.75 FS
- TOP OF CURB ELEVATION 45.00
- BOTTOM OF CURB ELEVATION 44.50
- TOP OF WALL ELEVATION TW 42.75
- BOTTOM OF WALL ELEVATION BW 42.75
- STORM DRAIN PIPE 80
- DROP INLET
- AREA DRAIN
- PERMANENT SWALE
- TRENCH DRAIN

CAPE FEAR COUNTRY CLUB INC.  
PARID: R05415-003-006-000  
BK 2386 PG 0257 (PER NHC REGISTER OF DEEDS)

For each open utility cut of  
City streets, a \$325 permit  
shall be required from the  
City prior to occupancy  
and/or project acceptance.

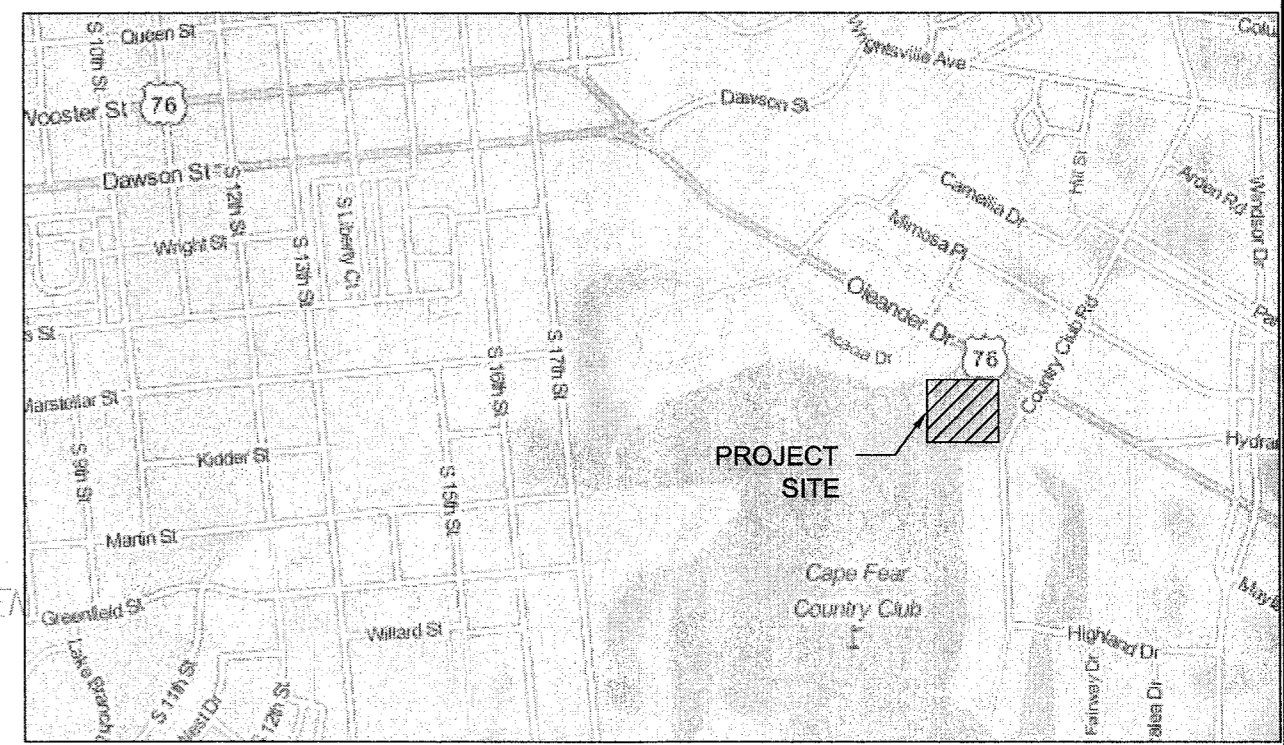
### Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

Date	Permit #
City of Wilmington Public Services Engineering Division APPROVED DRAINAGE PLAN	

CIVIL ENGINEER CONTACT INFORMATION:  
DENISE L. FREUND, P.E.  
NC LICENSE NO. F-0374  
909 MARKET STREET  
WILMINGTON, NORTH CAROLINA, 28401  
PH (910) 762-4200  
FAX (910) 762-4201  
DFREUND@WKDICKSON.COM



VICINITY MAP  
SCALE 1" = 1,000'

### CONSTRUCTION SEQUENCE NOTES:

- OBTAIN GRADING PERMIT AND ALL OTHER APPLICABLE PERMITS PRIOR TO ANY LAND DISTURBING ACTIVITY.
- SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, ALL CONTRACTORS FOR LAND DISTURBANCE AND/OR EROSION CONTROL, AND NEW HANOVER COUNTY PERSONNEL TO DISCUSS THE PROJECT AND THE EROSION CONTROL PLAN.
- FLAG THE CONSTRUCTION LIMITS AND MARK ANY TREES, WETLANDS OR EXISTING STRUCTURES NOTED TO REMAIN.
- STABILIZE CONSTRUCTION ACCESSES, CONSTRUCTION ROUTES AND EQUIPMENT PARKING AREA WITH GRAVEL AND TEMPORARY VEGETATION.
- EXCAVATED MATERIAL FOR SILT FENCE INSTALLATION TO BE PLACED ON THE UPLAND SIDE OF SILT FENCE.
- INSTALL ALL EROSION CONTROL MEASURES AND DEVICES AS INDICATED ON PLANS.
- CALL FOR ON-SITE INSPECTION BY INSPECTOR, WHEN APPROVED, GRADING MAY BEGIN PER GRADING AND EROSION CONTROL PLAN.
- NO TREES MAY BE REMOVED FROM THE SITE WITHOUT FIRST IDENTIFYING TREES TO REMAIN IN THE FIELD WITH YELLOW FLAGGING.
- NO ENCROACHMENT OR WORK IS TO BE DONE OUTSIDE THE LIMITS OF DISTURBANCE AS INDICATED ON PLAN.
- CONTRACTOR SHALL INSTALL ANY ADDITIONAL EROSION CONTROL MEASURE REQUESTED BY THE ENGINEER OR NEW HANOVER COUNTY TO ACCOUNT FOR ANY FIELD CONDITION ENCOUNTERED.
- THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NO EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, US DEPT. OF AGRICULTURE.
- EROSION CONTROL DEVICES SHOULD BE CHECKED PERIODICALLY AND AFTER ANY MAJOR STORM EVENT. IF ANY FAILURES ARE FOUND THEY SHOULD BE REPAIRED AS SOON AS POSSIBLE.
- THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING OFF-SITE BORROW OR WASTE SITES ARE PERMITTED THROUGH THE SEDIMENT POLLUTION CONTROL ACT AS A ONE-USE BORROW SITE, THROUGH THE MINING ACT, OR IS A LANDFILL REGULATED BY THE DIVISION OF WASTE MANAGEMENT.
- INSTALL TEMPORARY CONSTRUCTION FENCE AT LOCATIONS INDICATED ON PLANS.

### DRAINAGE NOTES:

- ALL ROOF DRAIN PIPES ARE 6" PVC UNLESS OTHERWISE NOTED.
- SITE CONTRACTOR TO CONNECT DOWNSPOUT PIPING TO STORM DRAINAGE SYSTEM USING CAST IRON DOWNSPOUT BOOT.
- PERFORATED TRENCH DRAIN TO BE INSTALLED ABOVE GAS LINE.

### SILT FENCING NOTES:

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING. SIGNAGE SHALL BE PLACED ON THE TREE PROTECTION FENCING IN ENGLISH AND SPANISH STATING THAT TREE PROTECTION FENCING MUST REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION PROCESS AND THAT NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- SIGNAGE SHOULD STATE "TREE PROTECTION AREA: DO NOT ENTER" IN BOTH ENGLISH AND SPANISH. SIGNS SHOULD BE ATTACHED TO FENCE/POSTS, AND SHOULD BE SPACED EVERY 50' WITH AT LEAST TWO SIGNS PER TREE PROTECTION AREA.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.

### GROUND COVER SCHEDULE

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)

NOTE:  
PER THE GROUND COVER SCHEDULE SHOWN HERE, OR AT THE COMPLETION OF ANY PHASE OF GRADING, WHICHEVER PERIOD IS SHORTER, DISTURBED AREAS SHALL BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.

### LEGEND

LIMITS OF DISTURBANCE	LOD
PROPOSED SILT FENCE	
PROPOSED CONTOUR	44
EXISTING CONTOUR	44
STORM DRAIN PIPE	80
DROP INLET	
AREA DRAIN	
INLET PROTECTION	
TREE PROTECTION	
TEMPORARY CONSTRUCTION ENTRANCE	
TRENCH DRAIN	

SCALE IN FEET  
1" = 20'

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

ALL DESIGNS, SKETCHES, DRAWINGS, SPECIFICATIONS, MODELS AND SAMPLES ARE THE EXCLUSIVE PROPERTY OF THE H. CHAMBERS COMPANY, WHETHER THE JOB FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. UNAUTHORIZED USE OF THESE DESIGNS ETC. FOR ANY OTHER PURPOSE IS PROHIBITED.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB INCLUDING BUILDING, ELEVATOR AND CORRIDOR CLEARANCES WHERE JOB CONDITIONS PREVENT OBTAINING DIMENSIONS, OR RESULTS AS SHOWN OR SPECIFIED, CHECK WITH THE H. CHAMBERS COMPANY BEFORE PROCEEDING WITH THE WORK.

### Issue

TYPE	DATE
SCHEMATIC DESIGN	12.18.13
DESIGN DEVELOPMENT	05.23.14
100% CD	06.27.14
BID AND PERMIT SET	07.25.14
FOR CONSTRUCTION	-

### Revisions

NO.	TYPE	DATE

SEAL



**CHAMBERS**  
ARCHITECTURAL ASSOCIATES



ARCHITECT & INTERIORS  
CHAMBERS  
1800 WASHINGTON BLVD.  
SUITE 111  
BALTIMORE, MARYLAND 21230  
PHONE: (410) 727-4535  
FAX: (410) 727-6982

**WK DICKSON**  
community infrastructure consultants  
Transportation + Water Resources  
Urban Development + Geomatics

909 MARKET STREET  
WILMINGTON, NC 28401  
(910) 762-4200  
(910) 762-4201  
www.wkdickson.com  
LICENSE NO. F-0374  
DENISE L. FREUND, PE



FAMILY ACTIVITY  
CENTER - CAPE FEAR  
COUNTRY CLUB  
1518 COUNTRY CLUB ROAD

Sheet Title

DRAINAGE AND  
EROSION CONTROL  
PLAN

Scale: AS SHOWN

Date: 07/25/14

Drawn By: HRW

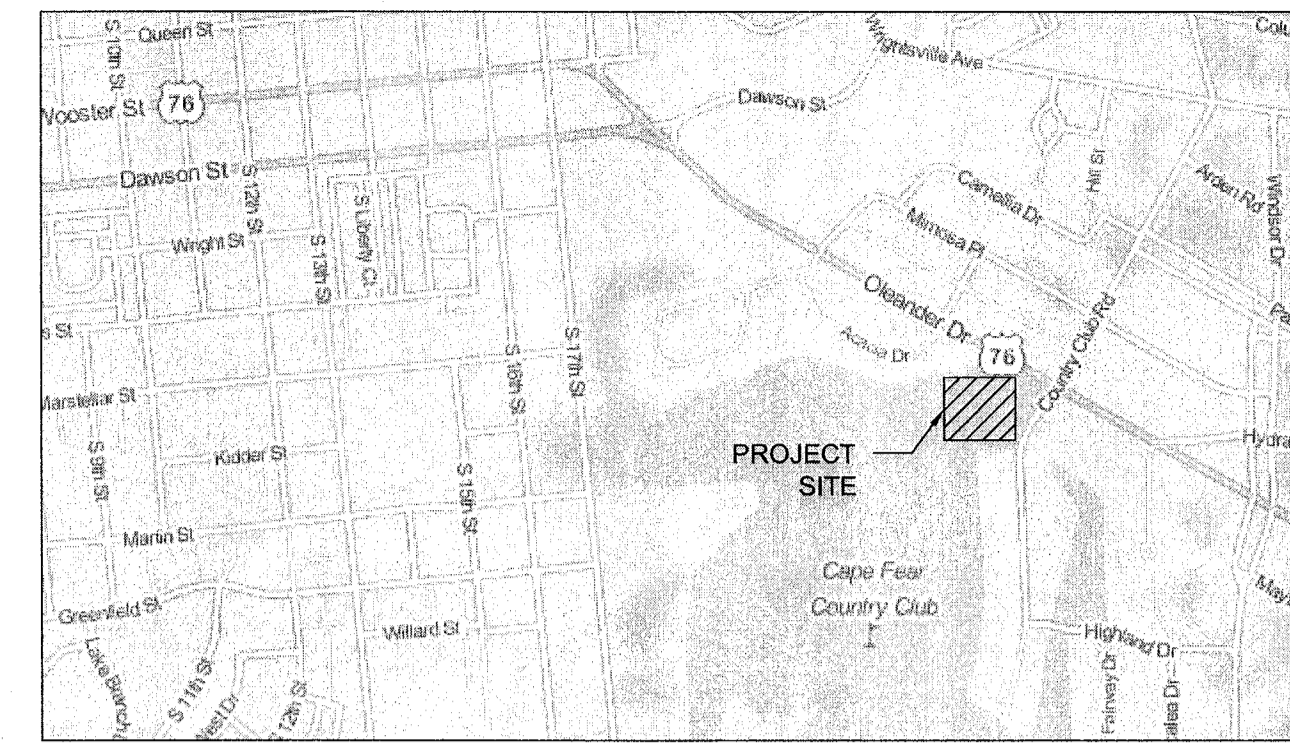
Checked By: DLF

Job No.: 20130125.00.WL

Sheet Number

**C.05**

CAPE FEAR COUNTRY CLUB INC.  
PARID: R05415-003-006-000  
BK 2386 PG 0257 (PER NHC REGISTER OF DEEDS)



VICINITY MAP  
SCALE 1" = 1,000'

NOTES:

1. DOMESTIC AND FIRE RPDA INSIDE BUILDING. DOMESTIC BACKFLOW PREVENTER TO BE A WATTS 909 R.P.Z. SPRINKLER BACKFLOW PREVENTER ANTICIPATED TO BE A WATTS 909 OR 990. FINAL DESIGN BY SPRINKLER CONTRACTOR.
2. DO NOT EXCEED MAXIMUM JOINT DEFLECTION TO ACHIEVE HORIZONTAL AND VERTICAL ALIGNMENT.
3. COORDINATE UTILITY WORK WITH THE CAPE FEAR PUBLIC UTILITY AUTHORITY.
4. SEE ELECTRICAL PLANS FOR SITE ELECTRICAL AND SITE LIGHTING.
5. CONTRACTOR TO PROVIDE CONTINUOUS SUPPLY OF WATER FOR IRRIGATION SYSTEMS, TENNIS COURT AND LANDSCAPING OUTSIDE THE PROJECT LIMITS.
6. CONTRACTOR TO DESIGN, PERMIT AND PROVIDE IRRIGATION SYSTEMS FOR CLAY COURTS AND LANDSCAPING IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
7. THERE IS NO INCREASE IN WATER AND SEWER DEMAND ASSOCIATED WITH THIS PROJECT AS DEMAND IS BASED ON NUMBER OF MEMBERS. FACILITY IMPROVEMENTS ARE BEING MADE TO IMPROVE FACILITIES FOR EXISTING MEMBERS.
8. CONTRACTOR TO PROTECT EXISTING COURT, FENCE AND RELATED APPURTENANCES WHEN INSTALLING THE DIP FIRE LINE.
9. PLANS ARE COMPLIANT WITH CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) TECHNICAL SPECIFICATIONS AND STANDARDS.
10. RELOCATION OF THE EXISTING 6" WATER LINE SHALL BE COORDINATED WITH CFPUA AND THE OWNER TO MINIMIZE SERVICE DISRUPTION TO THE OWNER.

WILMINGTON  
NORTH CAROLINA  
Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

WILMINGTON  
NORTH CAROLINA  
Public Services Engineering Division  
APPROVED DRAINAGE PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

SCALE IN FEET  
1" = 20'



BEFORE YOU DIG!  
CALL 1-800-632-4949  
N.C. ONE-CALL CENTER  
IT'S THE LAW!

LEGEND

- EXISTING SEWER LINE
- EXISTING WATER LINE
- WATER PIPE
- SANITARY SEWER PIPE
- SANITARY SEWER MANHOLE
- GATE VALVE
- WATER METER
- FIRE HYDRANT
- FITTING
- CLEAN-OUT

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

ALL DESIGNS, SKETCHES, DRAWINGS, SPECIFICATIONS, MODELS AND SAMPLES ARE THE EXCLUSIVE PROPERTY OF THE H. CHAMBERS COMPANY. WHETHER THE JOB FOR WHICH THEY ARE MADE IS EXECUTED OR NOT, UNAUTHORIZED USE OF THESE DESIGNS ETC. FOR ANY OTHER PURPOSE IS PROHIBITED.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB INCLUDING BUILDING, ELEVATOR AND CORRIDOR CLEARANCES WHERE JOB CONDITIONS PREVENT OBTAINING DIMENSIONS, OR RESULTS AS SHOWN OR SPECIFIED, CHECK WITH THE H. CHAMBERS COMPANY BEFORE PROCEEDING WITH THE WORK.

Issue

TYPE	DATE
SCHEMATIC DESIGN	12.18.13
DESIGN DEVELOPMENT	05.23.14
100% CD	06.27.14
BID AND PERMIT SET FOR CONSTRUCTION	07.25.14

Revisions

NO.	TYPE	DATE

SEAL



CHAMBERS  
ARCHITECTURAL ASSOCIATES

PLANNING  
ARCHITECTURE  
INTERIOR DESIGN  
PURCHASING

ARCHITECT & INTERIORS  
CHAMBERS  
1800 WASHINGTON BLVD.  
SUITE 111  
BALTIMORE, MARYLAND 21230  
PHONE: (410) 727-4535  
FAX: (410) 727-6982

WK  
DICKSON  
community infrastructure consultants  
Transportation + Water Resources  
Urban Development + Geomatics

909 MARKET STREET  
WILMINGTON, NC 28401  
(t) (910) 762-4200  
(f) (910) 762-4201  
www.wkdickson.com  
LICENSE NO. F-0374  
DENISE L. FREUND, PE



FAMILY ACTIVITY  
CENTER - CAPE FEAR  
COUNTRY CLUB  
1518 COUNTRY CLUB ROAD

Sheet Title

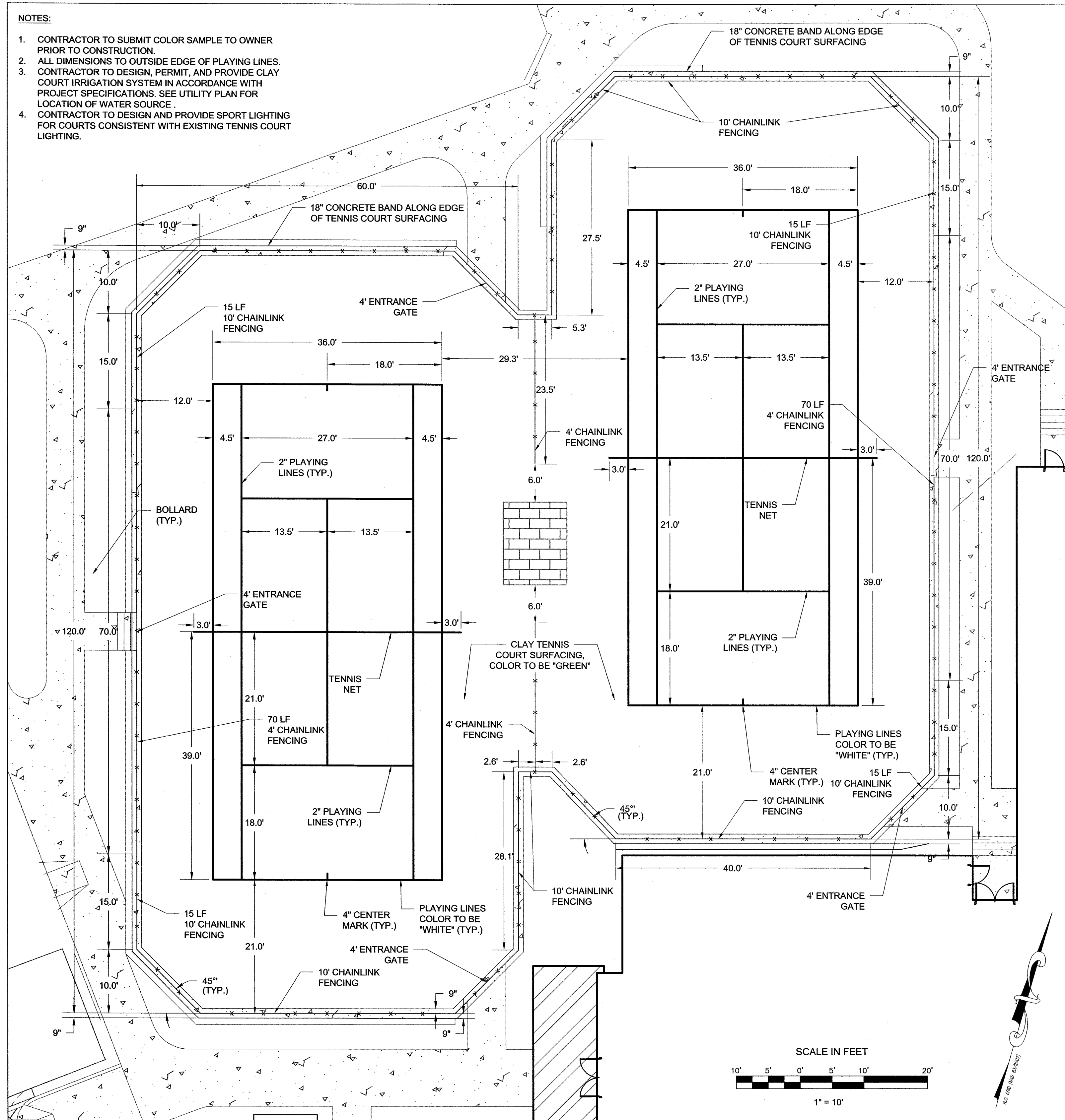
UTILITY PLAN

Scale: AS SHOWN  
Date: 07/25/14  
Drawn By: HRW  
Checked By: DLF  
Job No.: 20130125.00.WL  
Sheet Number

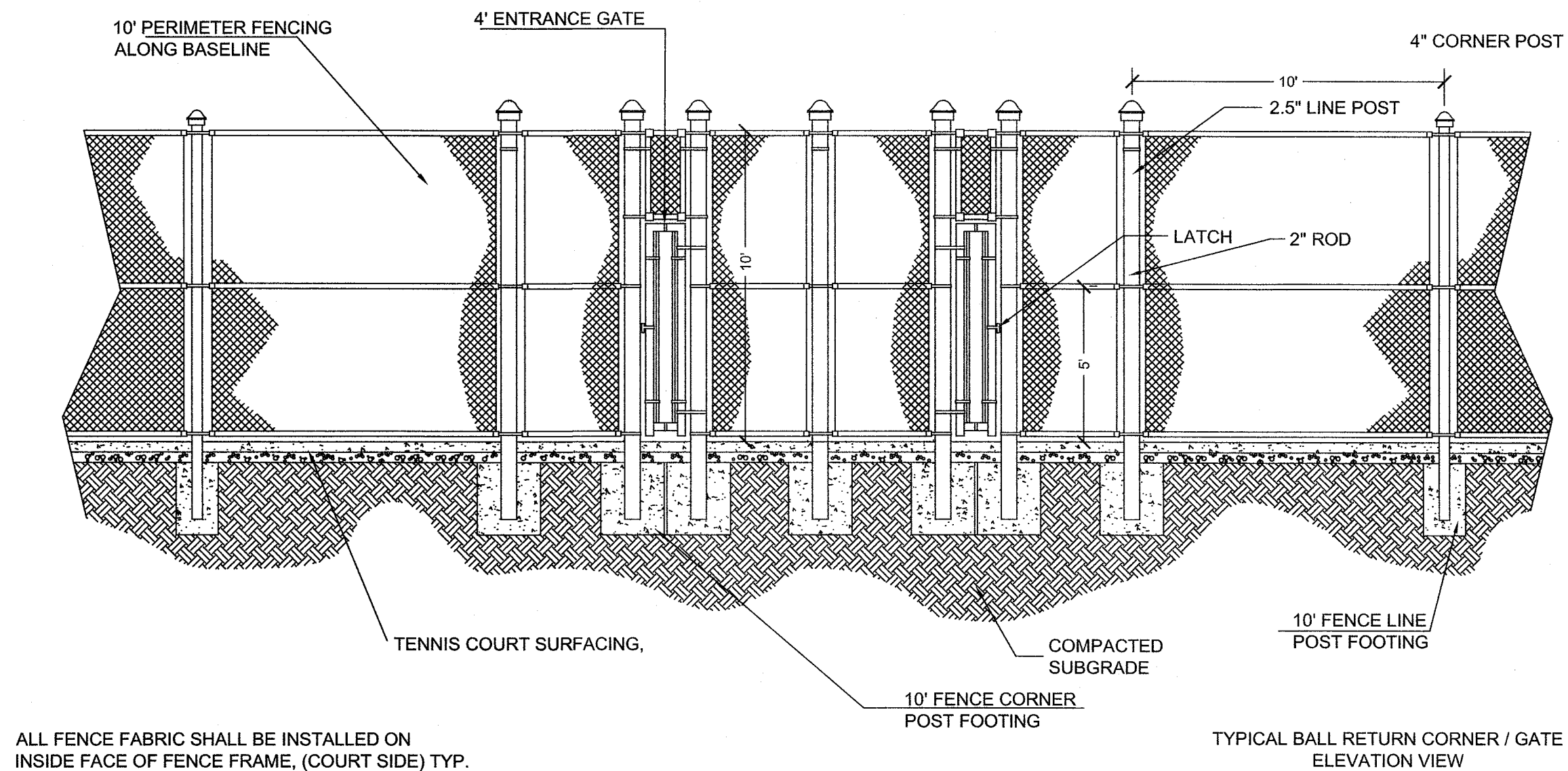
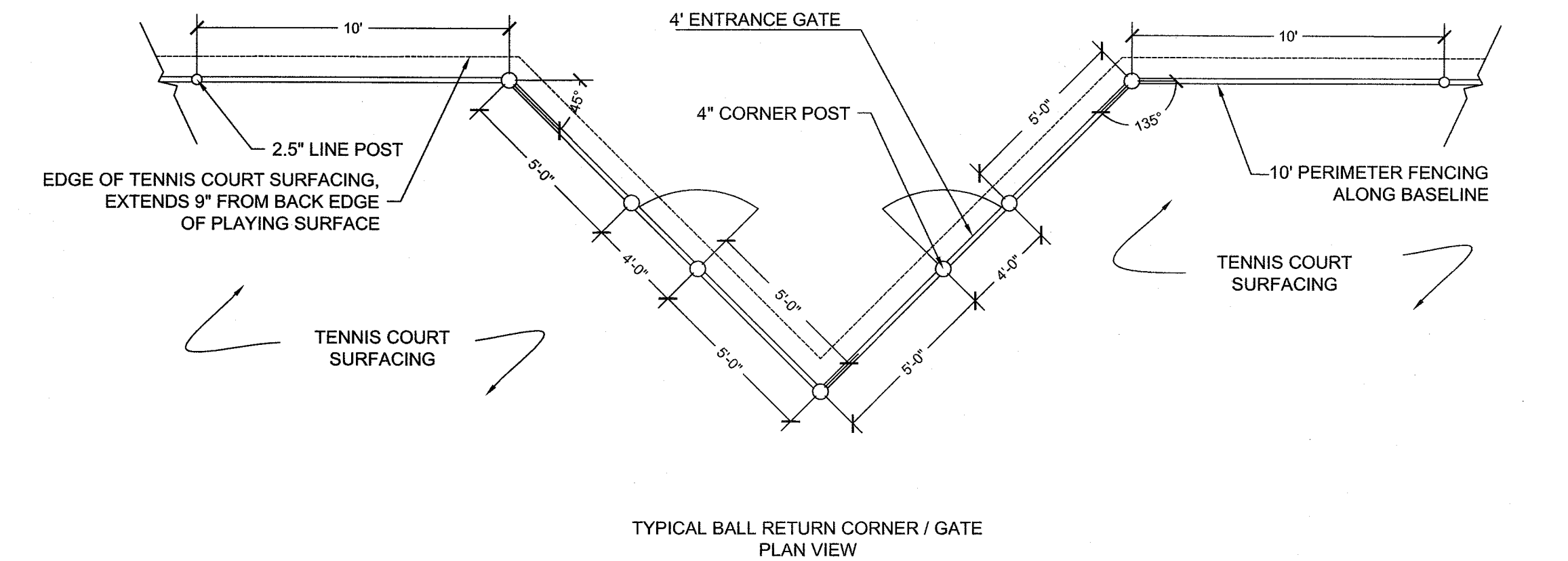
C.06

NOTES:

1. CONTRACTOR TO SUBMIT COLOR SAMPLE TO OWNER PRIOR TO CONSTRUCTION.
2. ALL DIMENSIONS TO OUTSIDE EDGE OF PLAYING LINES.
3. CONTRACTOR TO DESIGN, PERMIT, AND PROVIDE CLAY COURT IRRIGATION SYSTEM IN ACCORDANCE WITH PROJECT SPECIFICATIONS. SEE UTILITY PLAN FOR LOCATION OF WATER SOURCE.
4. CONTRACTOR TO DESIGN AND PROVIDE SPORT LIGHTING FOR COURTS CONSISTENT WITH EXISTING TENNIS COURT LIGHTING.

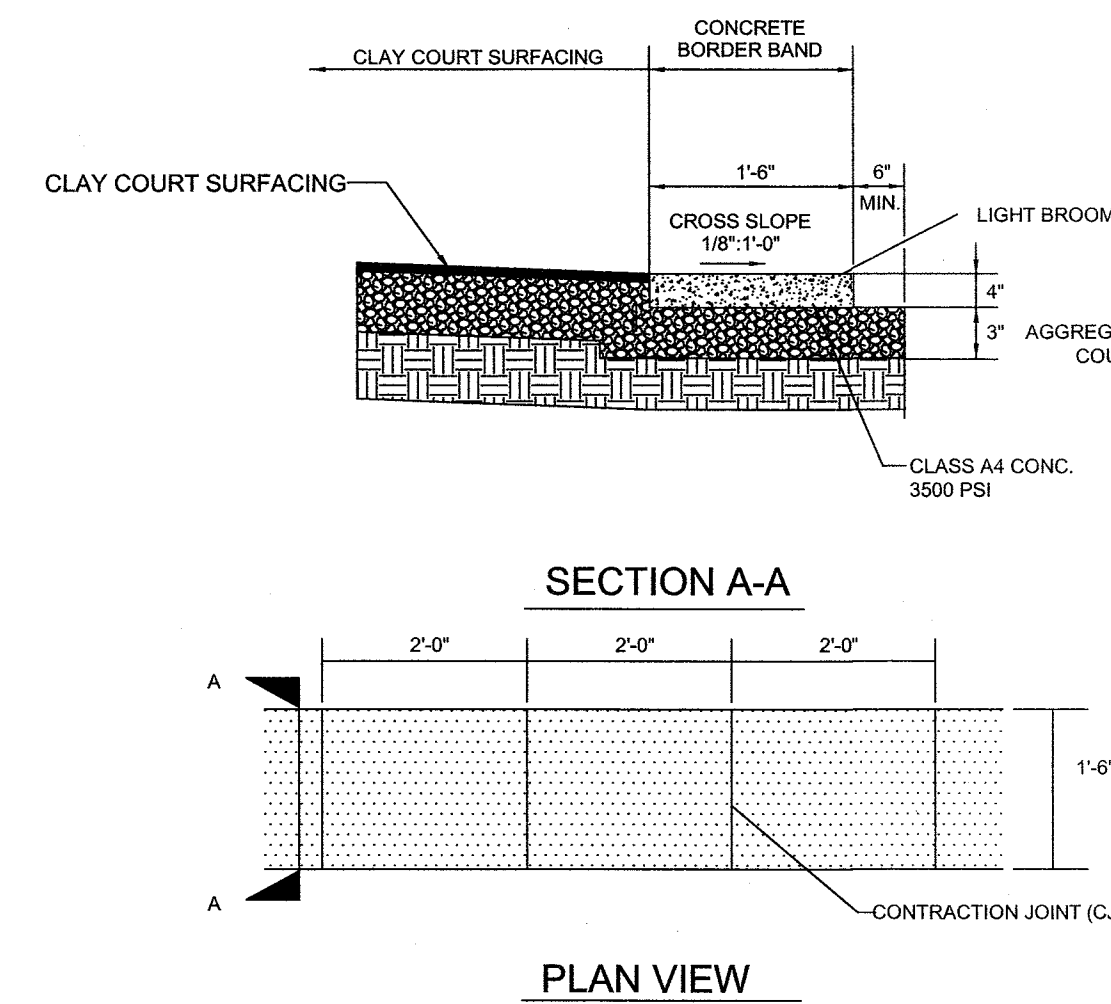


CLAY TENNIS COURT LAYOUT AND DIMENSIONS

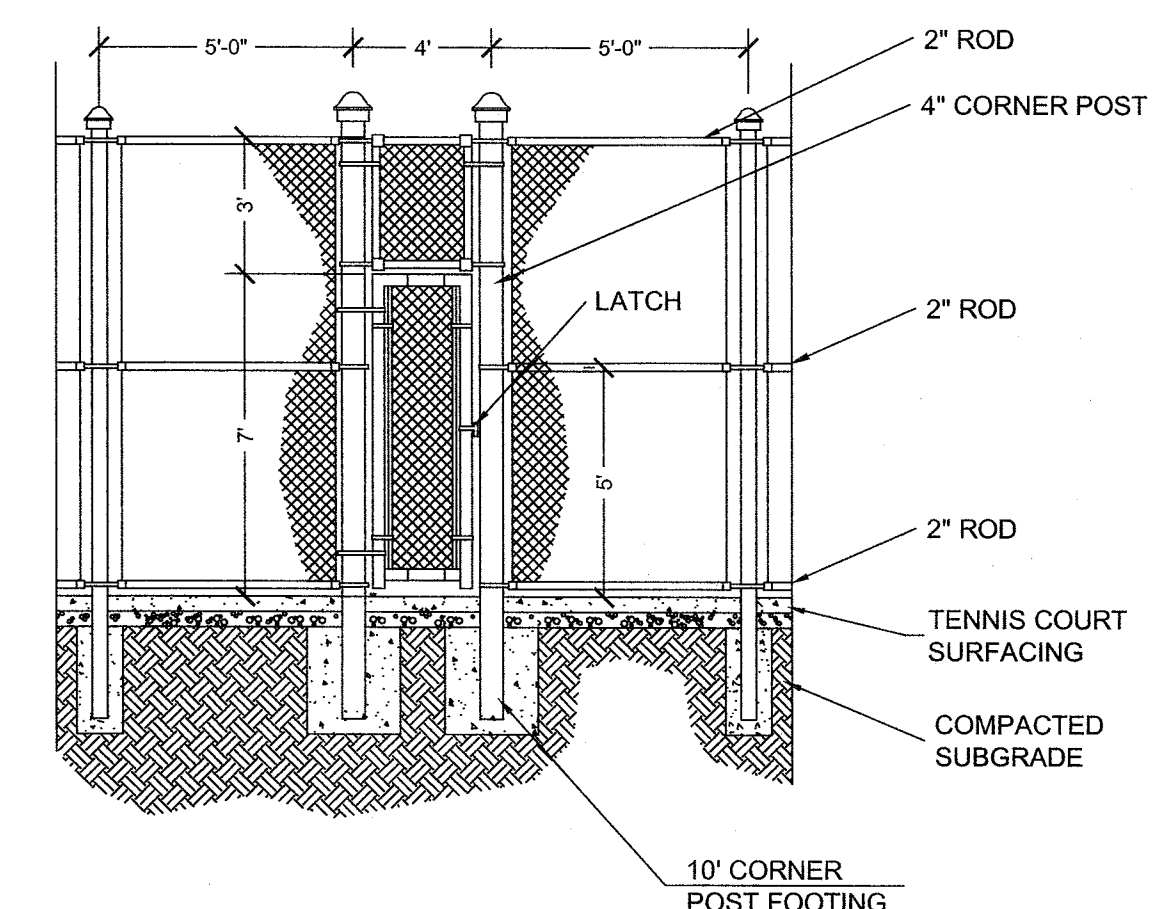


ALL FENCE FABRIC SHALL BE INSTALLED ON INSIDE FACE OF FENCE FRAME, (COURT SIDE) TYP.

TYPICAL BALL RETURN CORNER / GATE  
PLAN VIEW AND ELEVATION VIEW  
N.T.S.



CONCRETE BORDER BAND  
N.T.S.



4' TENNIS COURT ENTRANCE GATE  
N.T.S.

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

ALL DESIGNS, SKETCHES, DRAWINGS, SPECIFICATIONS, MODELS AND SAMPLES ARE THE EXCLUSIVE PROPERTY OF THE H. CHAMBERS COMPANY, WHETHER THE JOB FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. UNAUTHORIZED USE OF THESE DESIGNS ETC. FOR ANY OTHER PURPOSE IS PROHIBITED.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB, INCLUDING BUILDING, ELEVATOR AND CORRIDOR CLEARANCES. WHERE JOB CONDITIONS PREVENT OBTAINING DIMENSIONS, OR RESULTS AS SHOWN OR SPECIFIED, CHECK WITH THE H. CHAMBERS COMPANY BEFORE PROCEEDING WITH THE WORK.

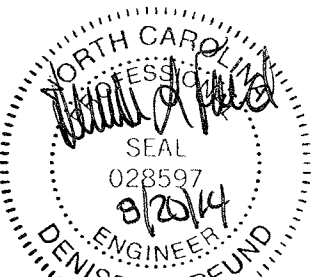
Issue

	TYPE	DATE
●	SCHEMATIC DESIGN	12.18.13
●	DESIGN DEVELOPMENT	05.23.14
●	100% CD	06.27.14
●	BID AND PERMIT SET FOR CONSTRUCTION	07.25.14

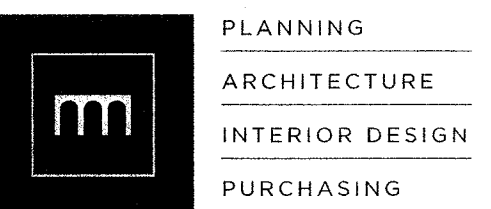
Revisions

NO.	TYPE	DATE

SEAL



**CHAMBERS**  
ARCHITECTURAL ASSOCIATES



ARCHITECT & INTERIORS  
CHAMBERS  
1800 WASHINGTON BLVD.  
SUITE 111  
BALTIMORE, MARYLAND 21230  
PHONE: (410) 727-4535  
FAX: (410) 727-6982

**WK DICKSON**  
community infrastructure consultants  
Transportation + Water Resources  
Urban Development + Geomatics

909 MARKET STREET  
WILMINGTON, NC 28401  
(t) (910) 762-4200  
(f) (910) 762-4201  
www.wkdickson.com  
LICENSE NO. F-0374  
DENISE L. FREUND, PE



1896  
FAMILY ACTIVITY  
CENTER - CAPE FEAR  
COUNTRY CLUB  
1518 COUNTRY CLUB ROAD

Sheet Title

TENNIS COURT  
LAYOUT AND DETAILS

Scale: AS SHOWN

Date: 07/25/14

Drawn By: HRW

Checked By: DLF

Job No.: 20130125.00.WL

Sheet Number

**C.07**

City of  
**WILMINGTON**  
NORTH CAROLINA  
Approved Construction Plan

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

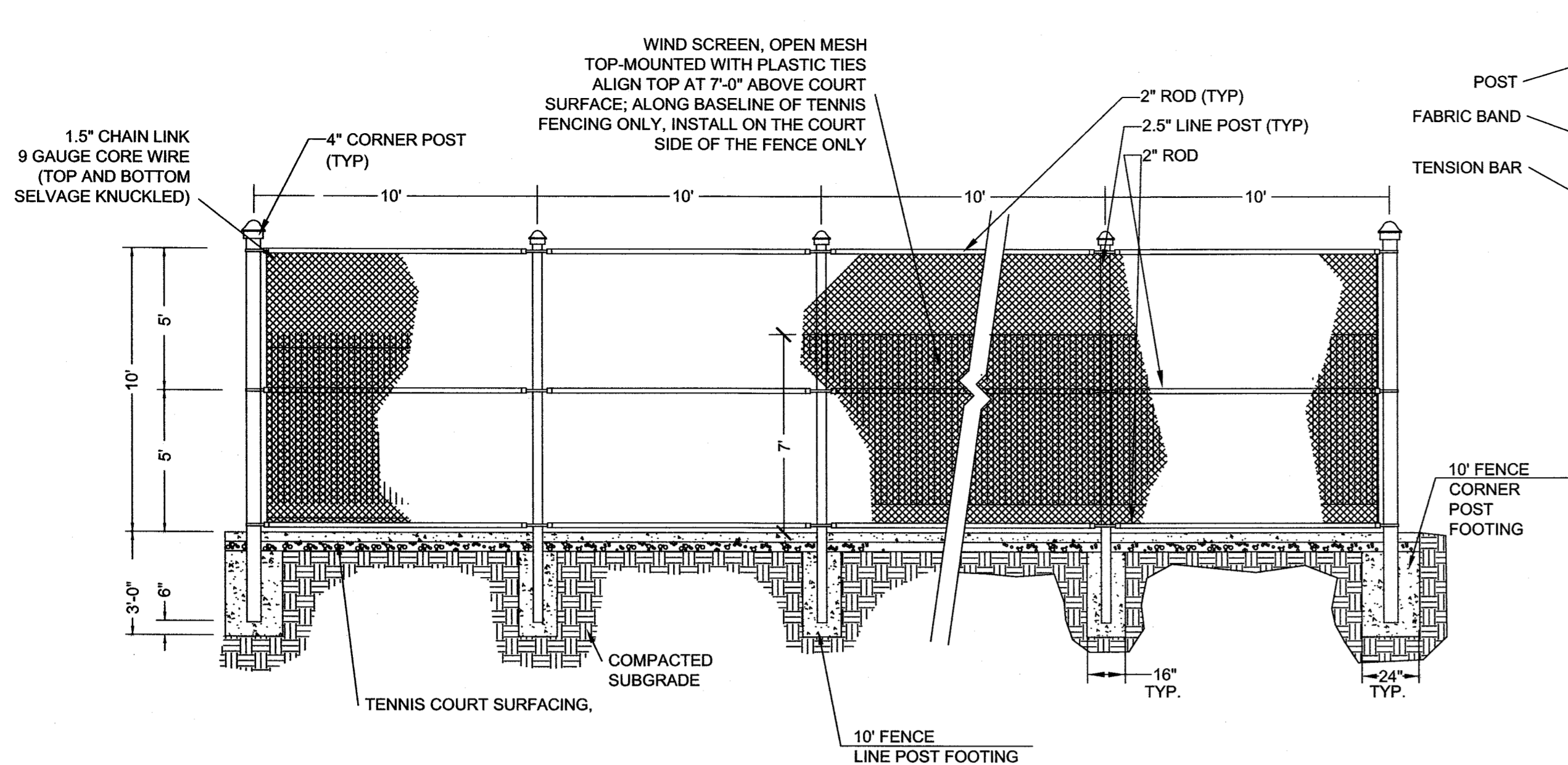
Fire: \_\_\_\_\_

City of  
**WILMINGTON**  
NORTH CAROLINA  
Public Services Engineering Division  
APPROVED DRAINAGE PLAN

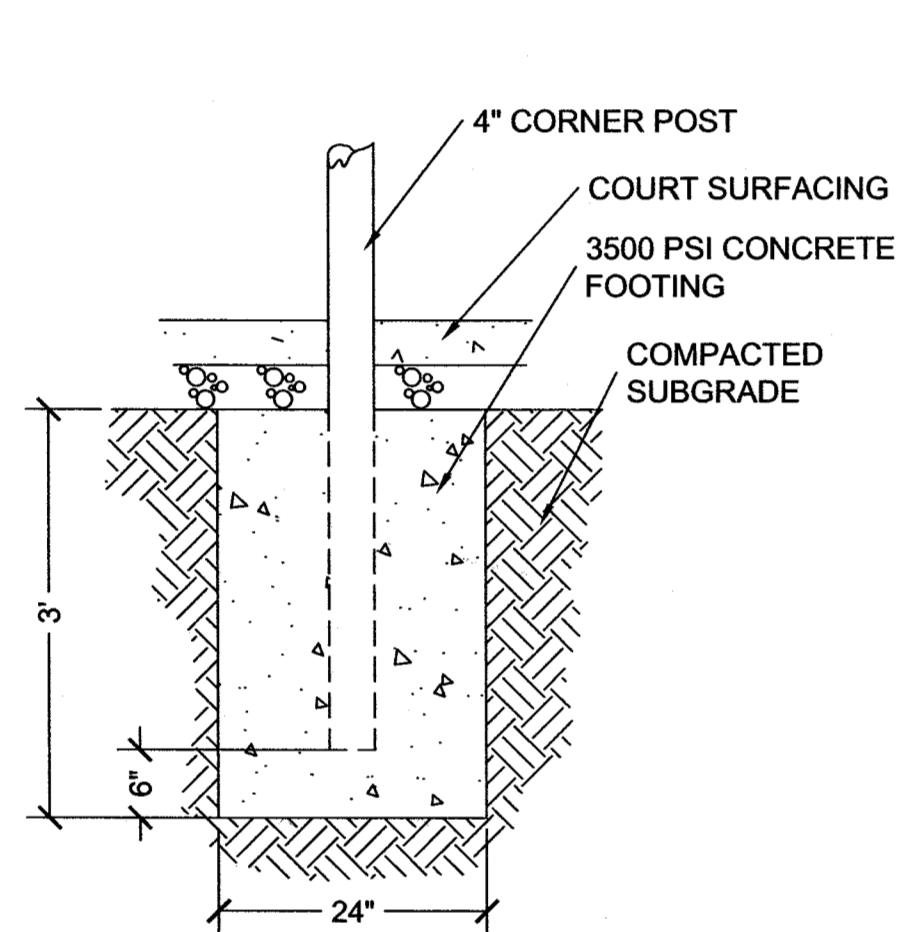
Date: \_\_\_\_\_ Permit #: \_\_\_\_\_

Signed: \_\_\_\_\_

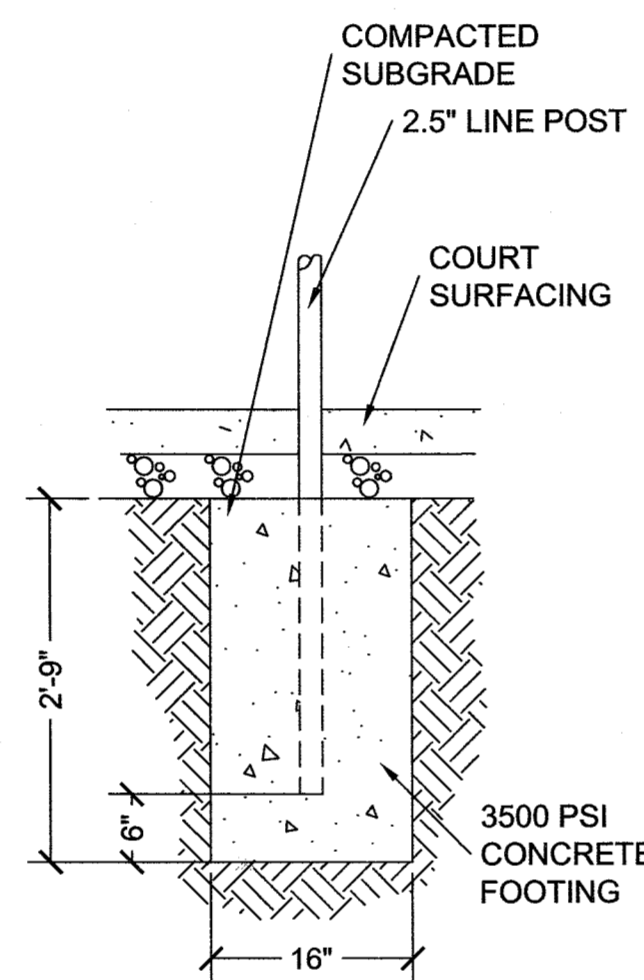
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



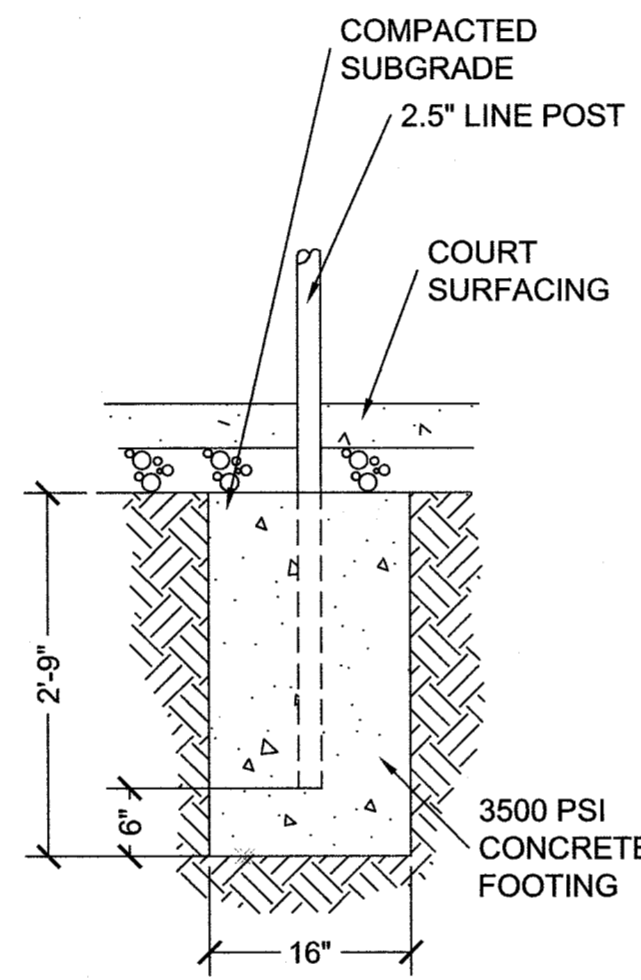
TYPICAL 10' PERIMETER FENCING  
ALONG BASELINE OF COURTS  
N.T.S.



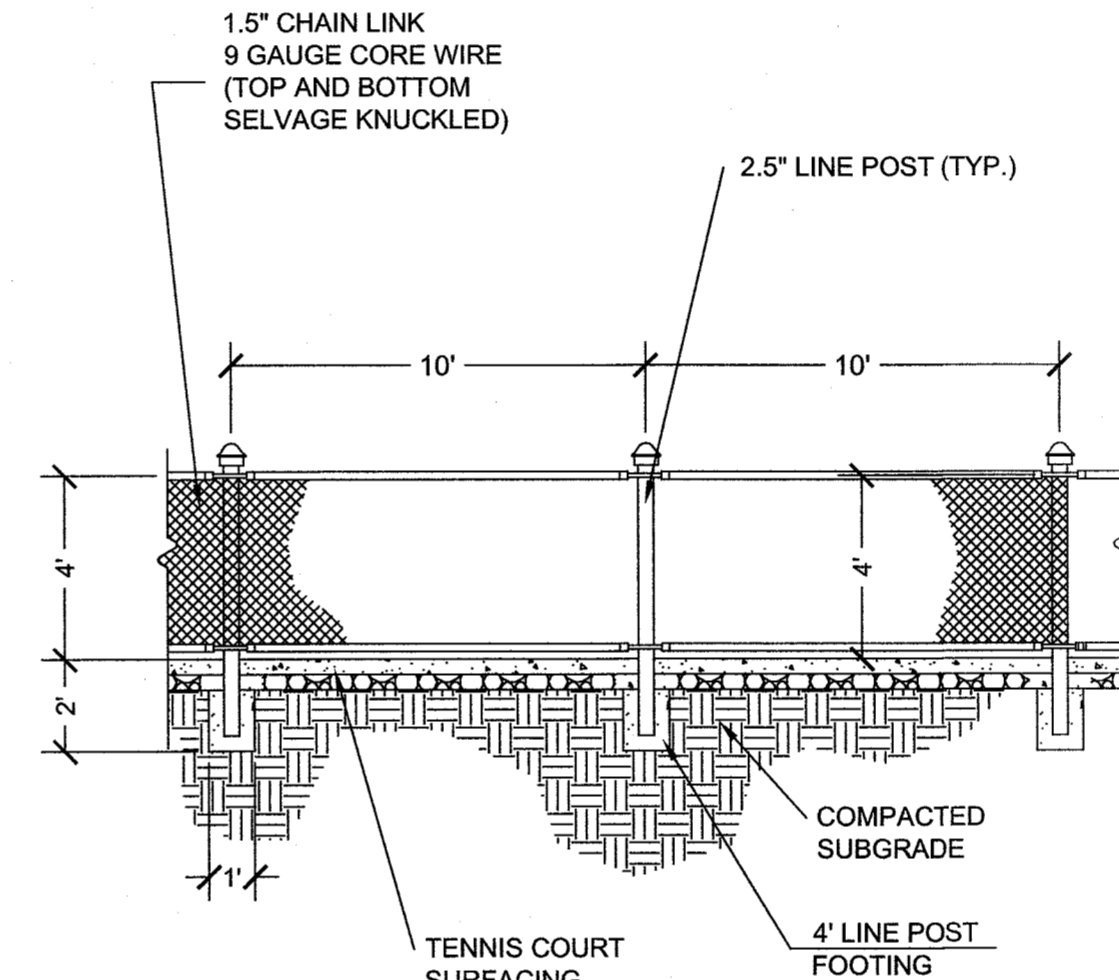
10' FENCE CORNER  
POST FOOTING  
N.T.S.



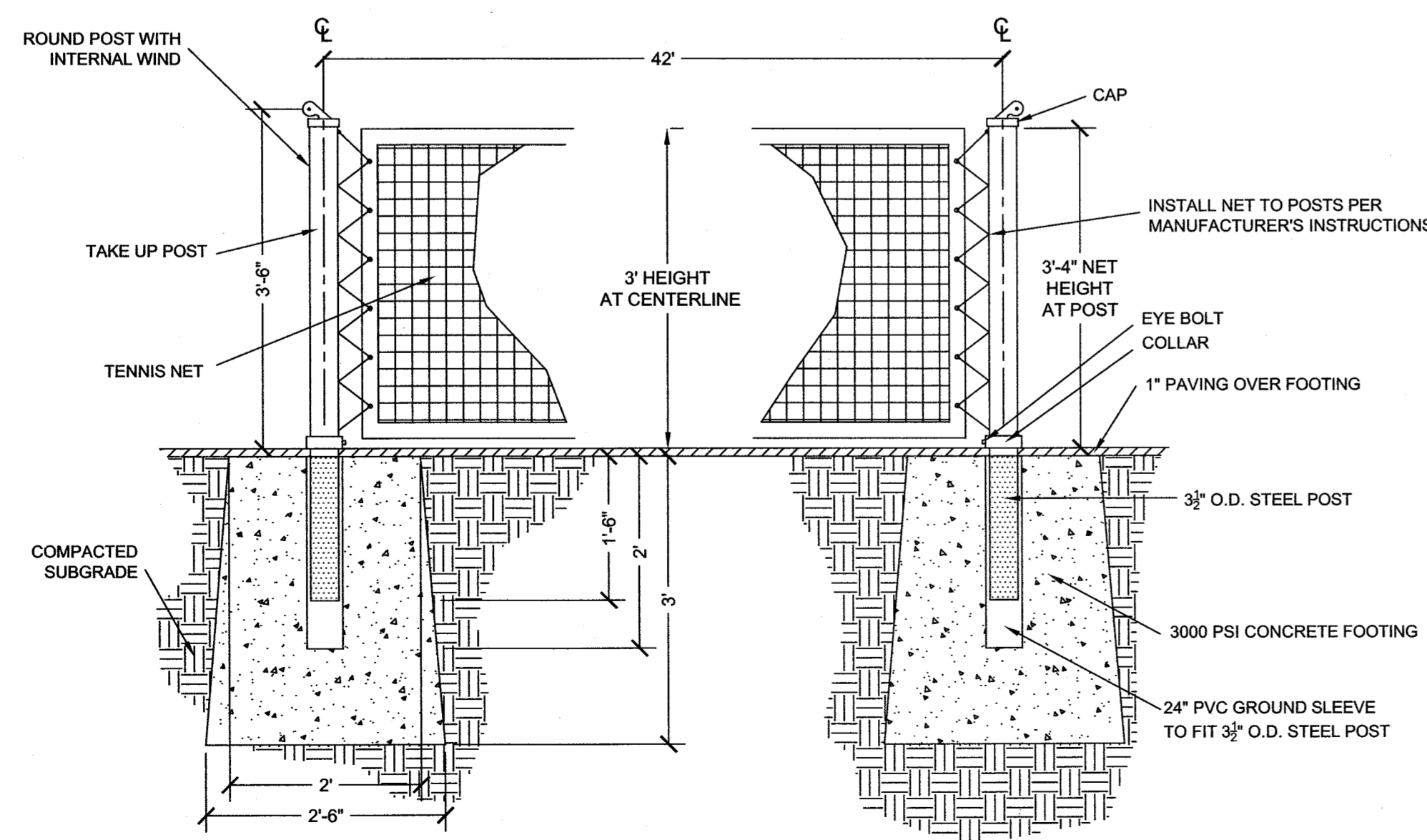
10' FENCE LINE  
POST FOOTING  
N.T.S.



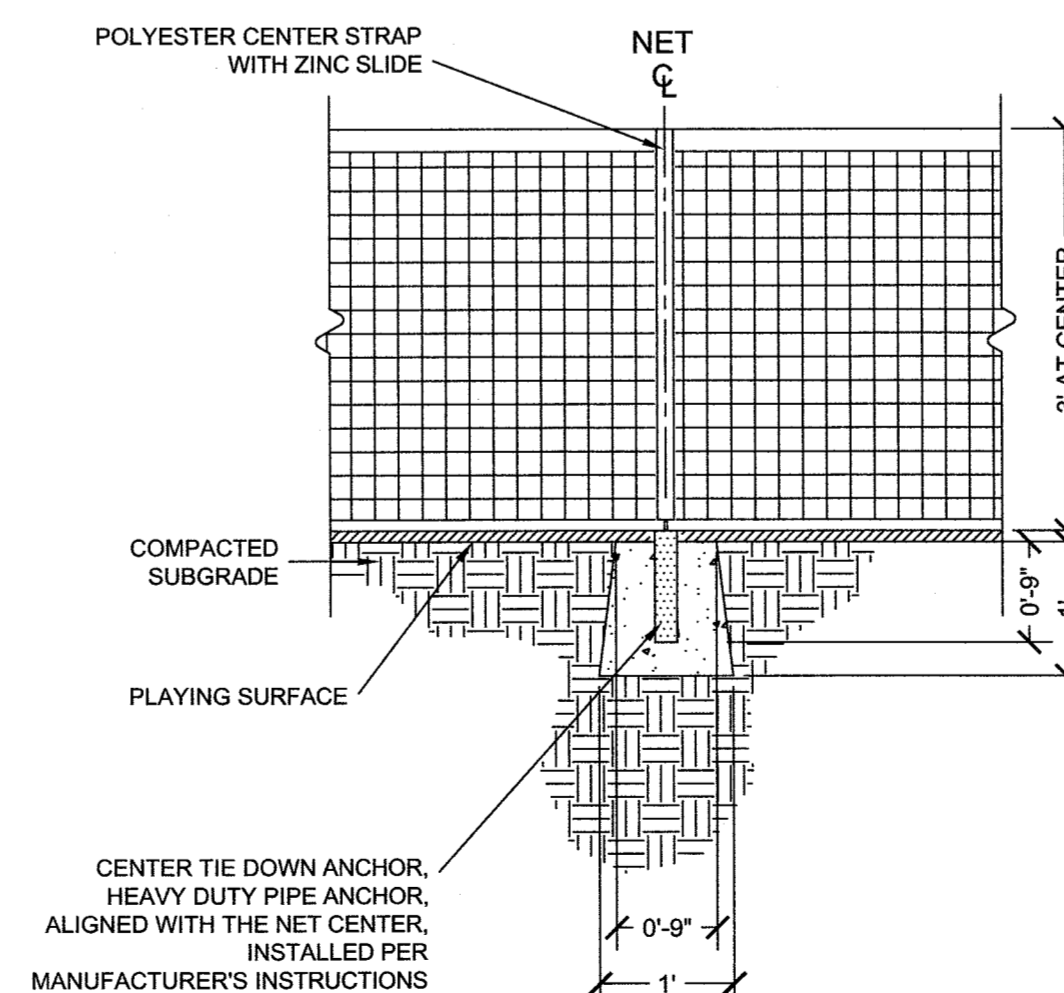
4' FENCE LINE  
POST FOOTING  
N.T.S.



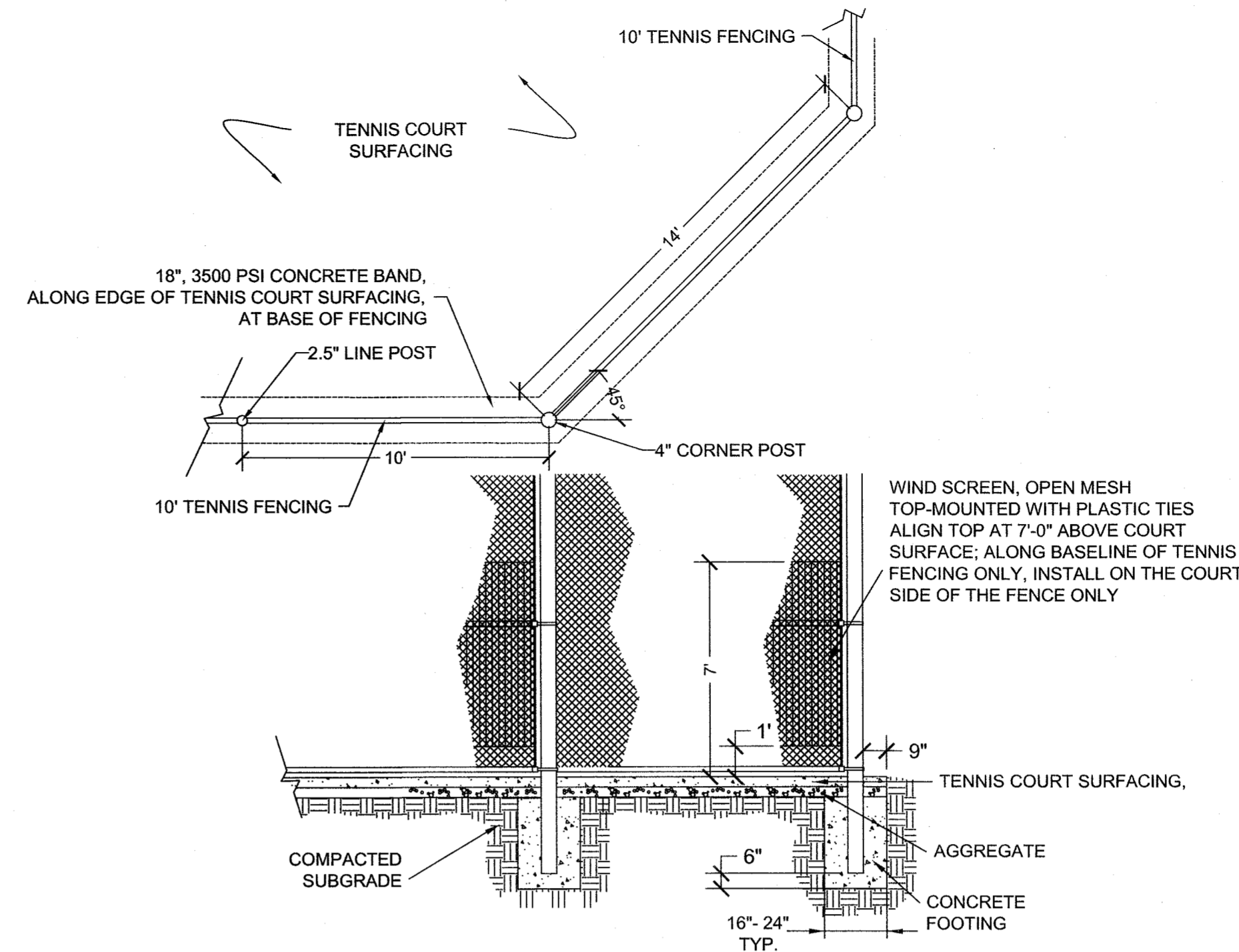
TYPICAL 4' FENCING  
ALONG SIDELINE OF COURTS  
N.T.S.



TYPICAL TENNIS NET  
AND POST SECTIONS  
N.T.S.



TENNIS NET CENTER SECTION  
WITH CENTER TIE DOWN ANCHOR  
N.T.S.

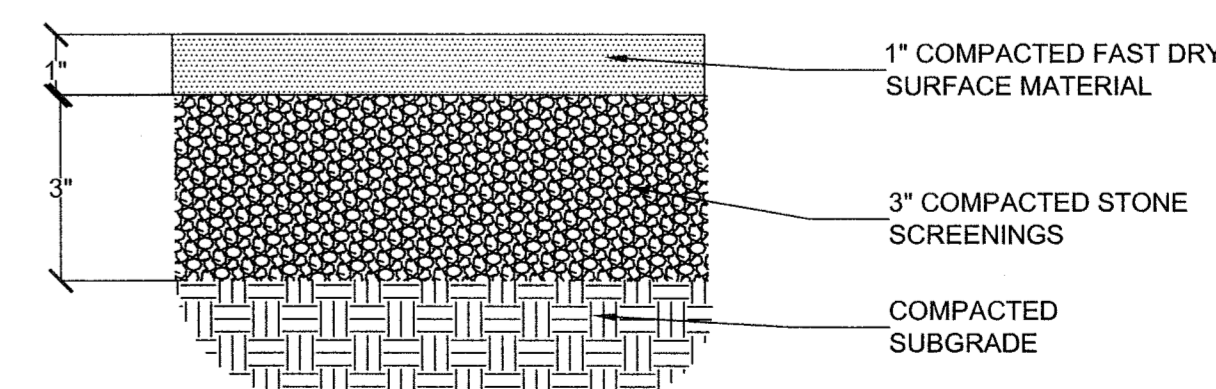


COURT EDGE  
FENCE POST  
N.T.S.

WILMINGTON  
NORTH CAROLINA  
Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

WILMINGTON  
NORTH CAROLINA  
Public Services Engineering Division  
APPROVED DRAINAGE PLAN  
Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_

For each open utility cut of  
City streets, a \$325 permit  
shall be required from the  
City prior to occupancy  
and/or project acceptance.



- NOTES:
1. COMPACTED STONE SCREENINGS SHALL BE SLOPED @ 1" PER 24".
  2. CONTRACTOR IS TO PROVIDE SHOP DRAWINGS FOR APPROVAL ON COURT SURFACE PAINT PREPARATION AND PAINT COLOR FOR TENNIS COURTS.

CLAY COURT  
TENNIS SURFACING  
N.T.S.

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

ALL DESIGNS, SKETCHES, DRAWINGS, SPECIFICATIONS, MODELS AND SAMPLES ARE THE EXCLUSIVE PROPERTY OF THE H. CHAMBERS COMPANY, WHETHER THE JOB FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. UNAUTHORIZED USE OF THESE DESIGNS ETC. FOR ANY OTHER PURPOSE IS PROHIBITED.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB, INCLUDING BUILDING, ELEVATOR AND CORRIDOR CLEARANCES WHERE FOR CONDITIONS PREVENT OBTAINING DIMENSIONS, OR RESULTS AS SHOWN OR SPECIFIED, CHECK WITH THE H. CHAMBERS COMPANY BEFORE PROCEEDING WITH THE WORK.

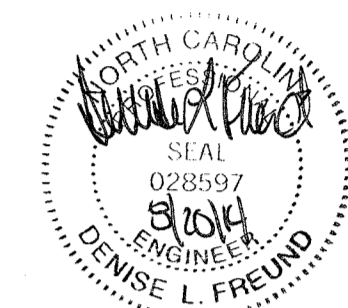
## Issue

TYPE	DATE
● SCHEMATIC DESIGN	12.18.13
● DESIGN DEVELOPMENT	05.23.14
● 100% CD	06.27.14
● BID AND PERMIT SET FOR CONSTRUCTION	07.25.14

## Revisions

NO.	TYPE	DATE

SEAL



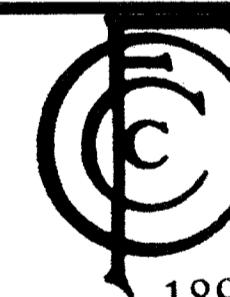
CHAMBERS  
ARCHITECTURAL ASSOCIATES



ARCHITECT & INTERIORS  
CHAMBERS  
1800 WASHINGTON BLVD.  
SUITE 111  
BALTIMORE, MARYLAND 21230  
PHONE: (410) 727-4535  
FAX: (410) 727-6982

WK  
DICKSON  
community infrastructure consultants  
Transportation + Water Resources  
Urban Development + Geomatics

909 MARKET STREET  
WILMINGTON, NC 28401  
(t) (910) 762-4200  
(f) (910) 762-4201  
www.wkdickson.com  
LICENSE NO. F-0374  
DENISE L. FREUND, PE



1896  
FAMILY ACTIVITY  
CENTER - CAPE FEAR  
COUNTRY CLUB  
1518 COUNTRY CLUB ROAD

Sheet Title

TENNIS COURT  
DETAILS

Scale: AS SHOWN

Date: 07/25/14

Drawn By: HRW

Checked By: DLF

Job No.: 20130125.00.WL

Sheet Number

C.08



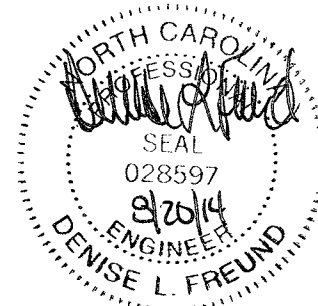
ALL DESIGNS, SKETCHES, DRAWINGS, SPECIFICATIONS, MODELS AND SAMPLES ARE THE EXCLUSIVE PROPERTY OF THE H. CHAMBERS COMPANY, WHETHER THE JOB FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. UNAUTHORIZED USE OF THESE DESIGNS ETC. FOR ANY OTHER PURPOSE IS PROHIBITED.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB INCLUDING BUILDING, ELEVATOR AND CORRIDOR CLEARANCES WHERE JOB CONDITIONS PREVENT OBTAINING DIMENSIONS, OR RESULTS AS SHOWN OR SPECIFIED. CHECK WITH THE H. CHAMBERS COMPANY BEFORE PROCEEDING WITH THE WORK.

Issue		TYPE	DATE
●	SCHEMATIC DESIGN	12.18.13	
●	DESIGN DEVELOPMENT	05.23.14	
●	100% CD	06.27.14	
●	BID AND PERMIT SET	07.25.14	
	FOR CONSTRUCTION	-	

Revisions			NO.	TYPE	DATE

SEAL



**CHAMBERS**  
ARCHITECTURAL ASSOCIATES



ARCHITECT & INTERIORS  
CHAMBERS  
1800 WASHINGTON BLVD.  
SUITE 111  
BALTIMORE, MARYLAND 21230  
PHONE: (410) 727-4535  
FAX: (410) 727-6982

**WK DICKSON**  
community infrastructure consultants  
Transportation + Water Resources  
Urban Development + Geomatics

909 MARKET STREET  
WILMINGTON, NC 28401  
(t) (910) 762-4200  
(f) (910) 762-4201  
www.wkdickson.com  
LICENSE NO. F-0374  
DENISE L. FREUND, PE



1896  
FAMILY ACTIVITY  
CENTER - CAPE FEAR  
COUNTRY CLUB  
1518 COUNTRY CLUB ROAD

Sheet Title

SITE DETAILS

Scale: AS SHOWN

Date: 07/25/14

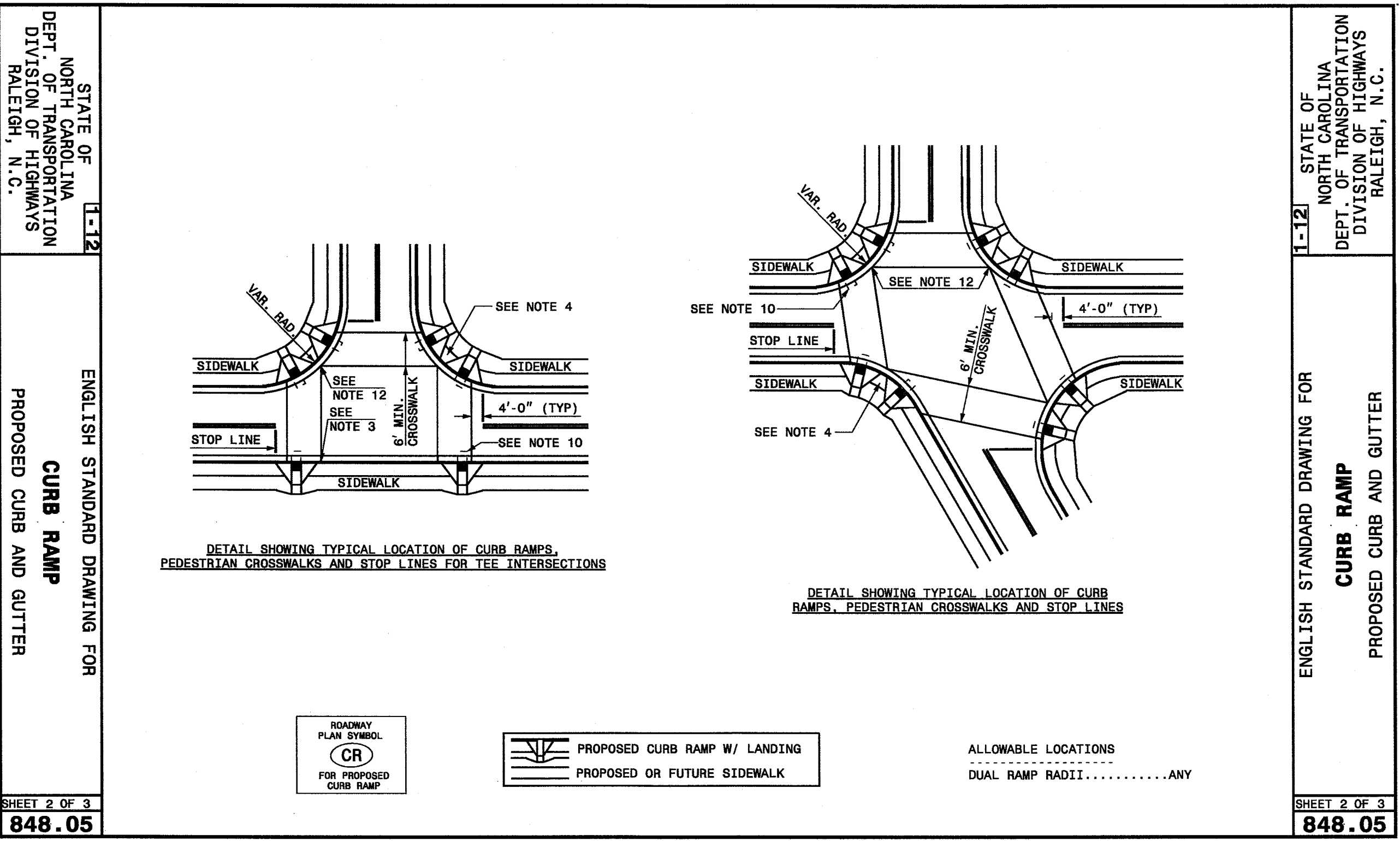
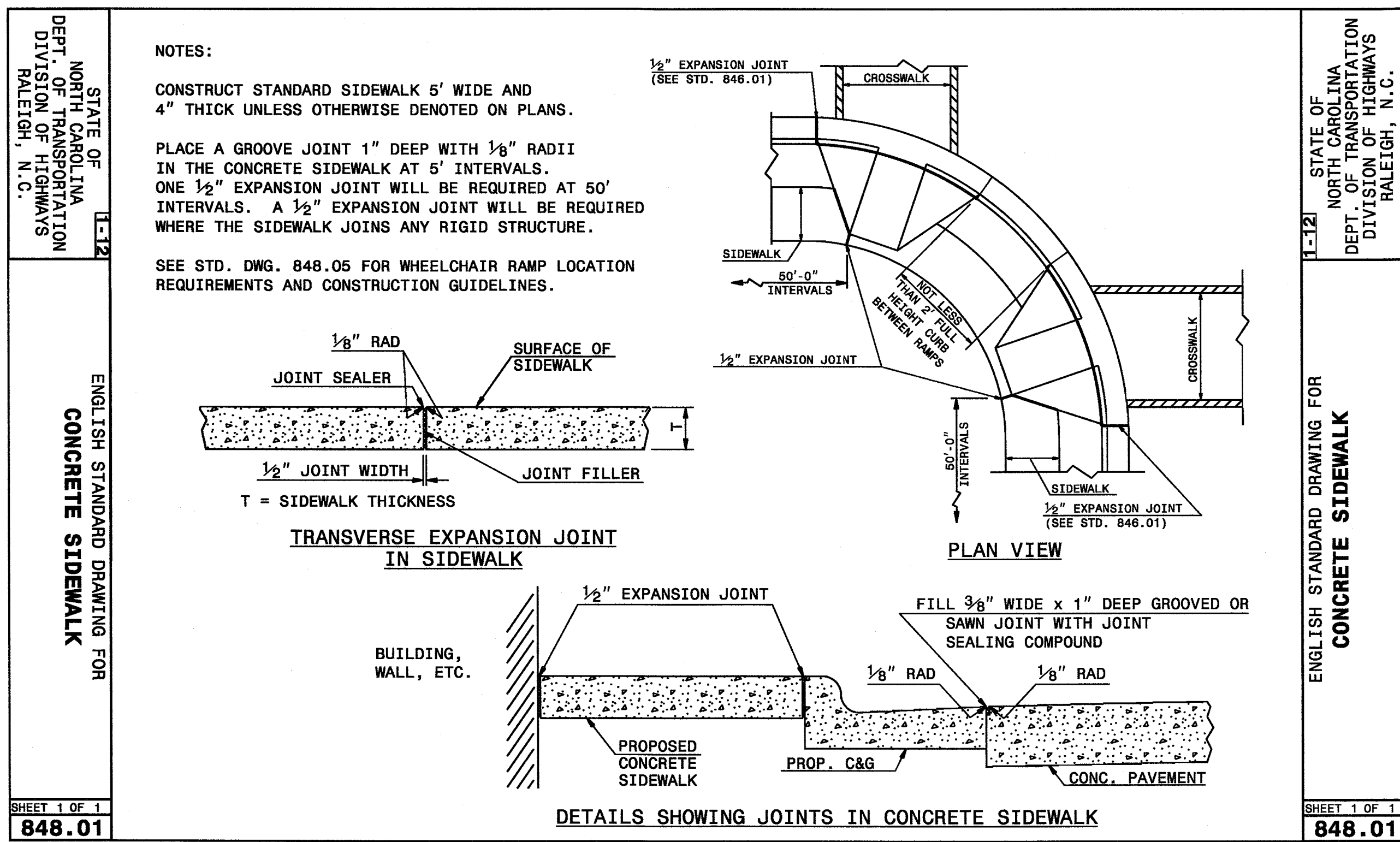
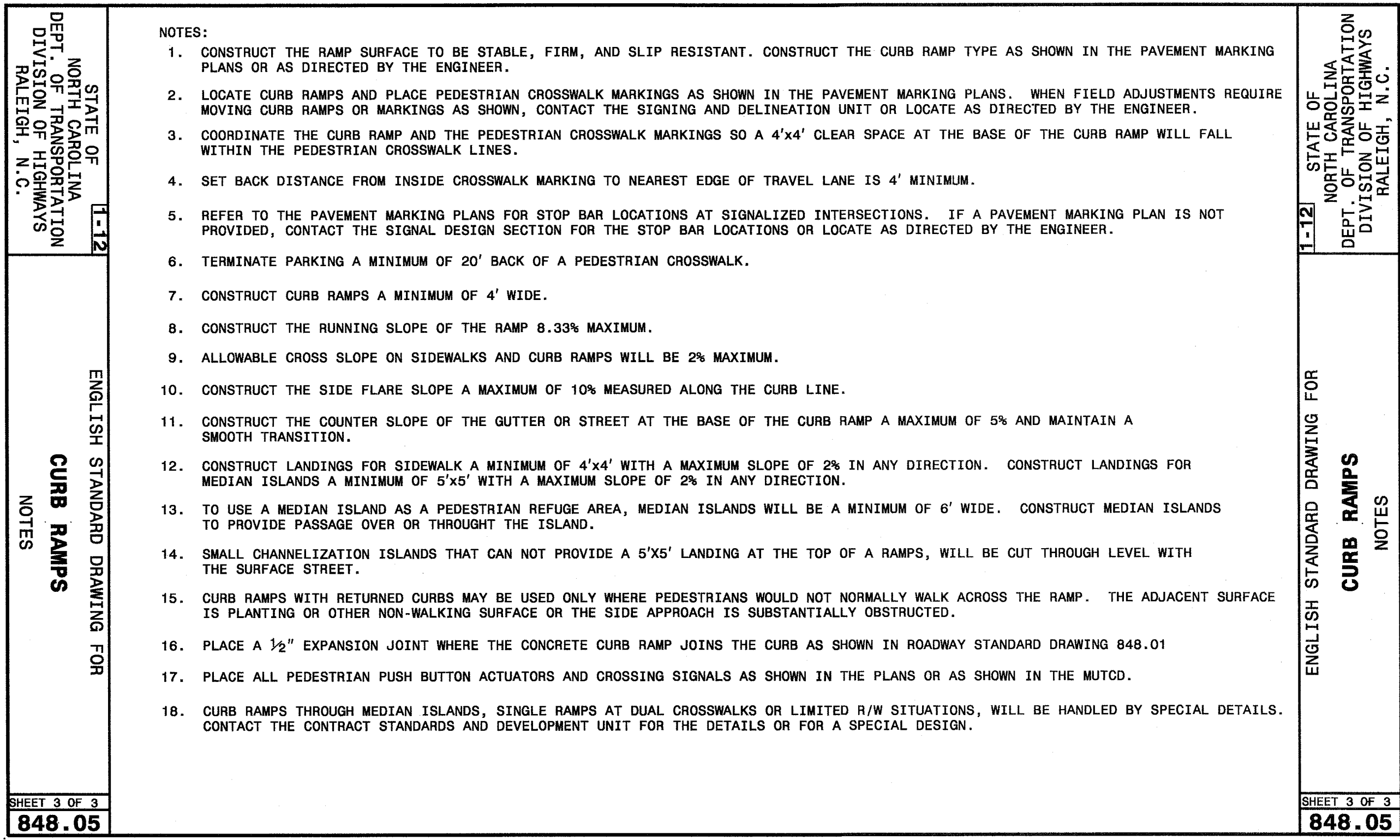
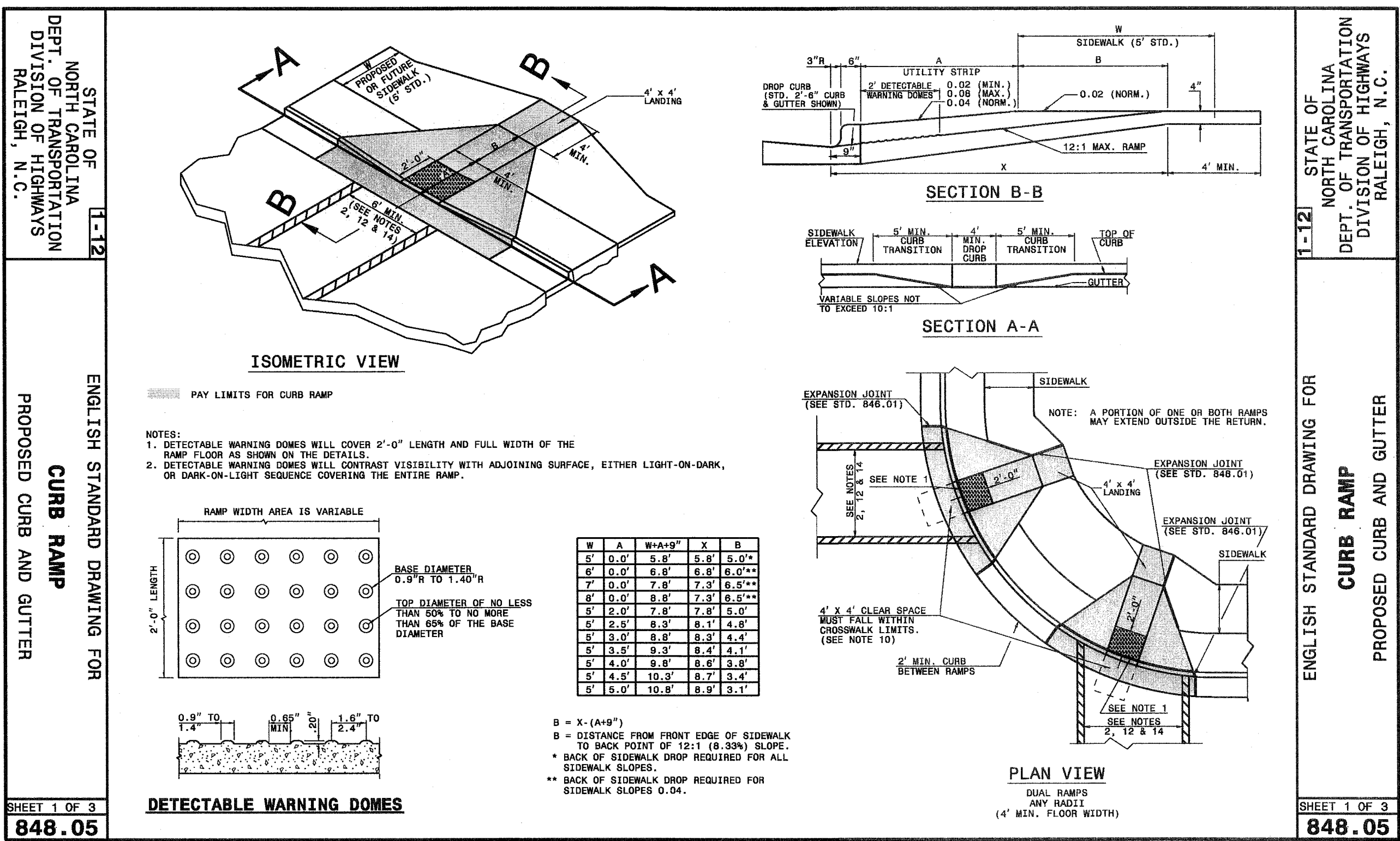
Drawn By: HRW

Checked By: DLF

Job No.: 20130125.00.WL

Sheet Number

**C.10**



**WILMINGTON**  
NORTH CAROLINA

Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

**WILMINGTON**  
NORTH CAROLINA

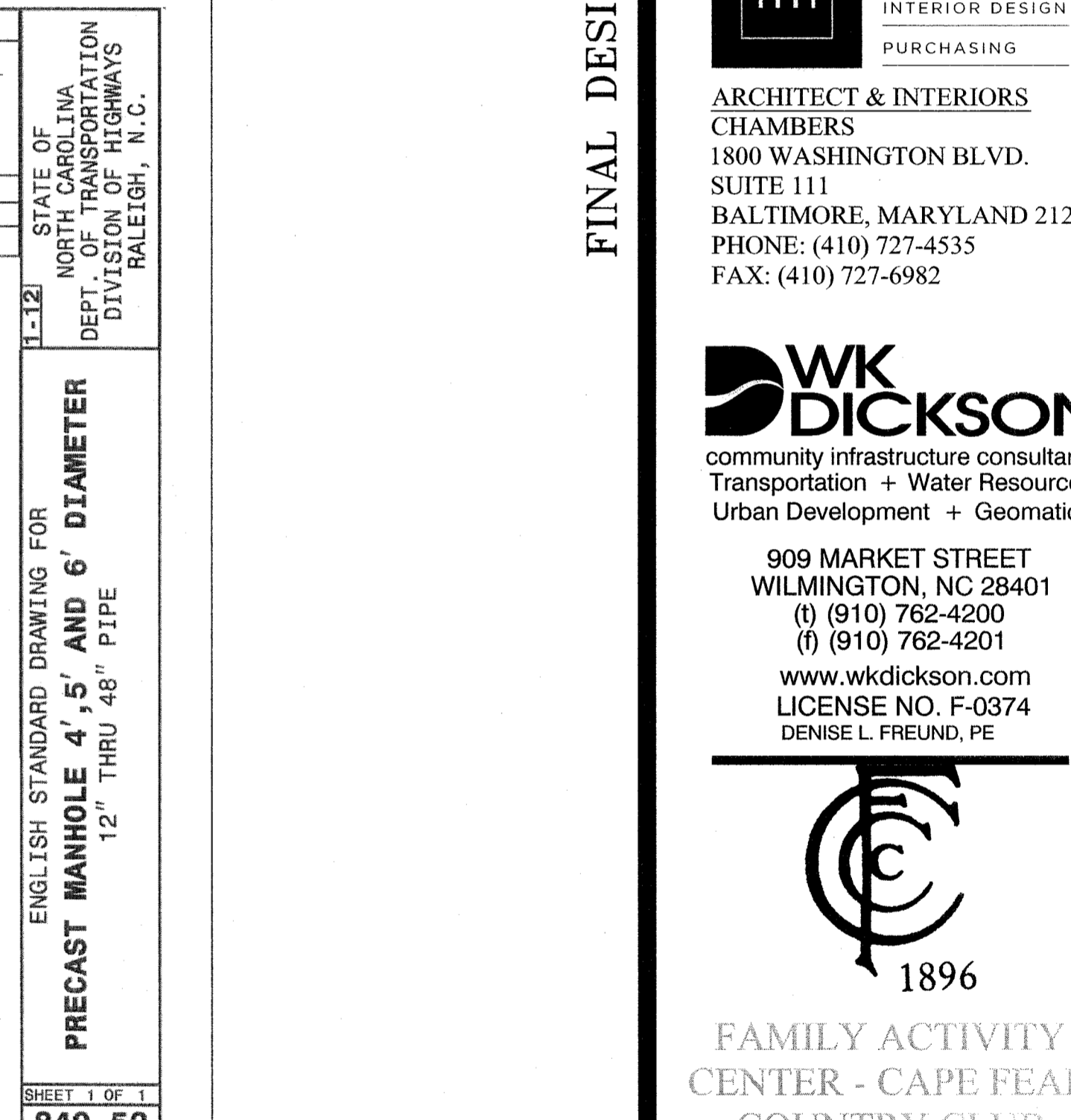
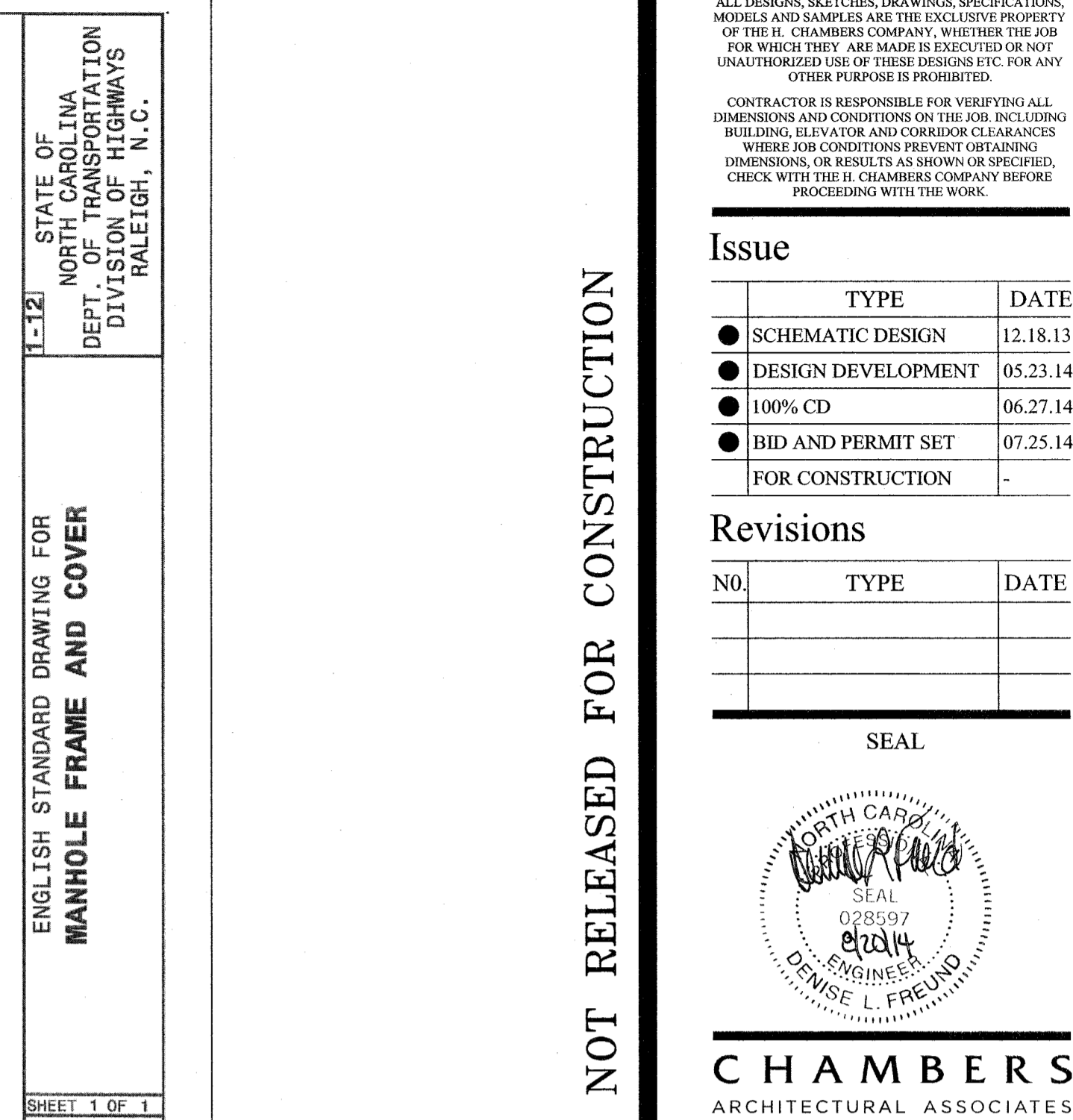
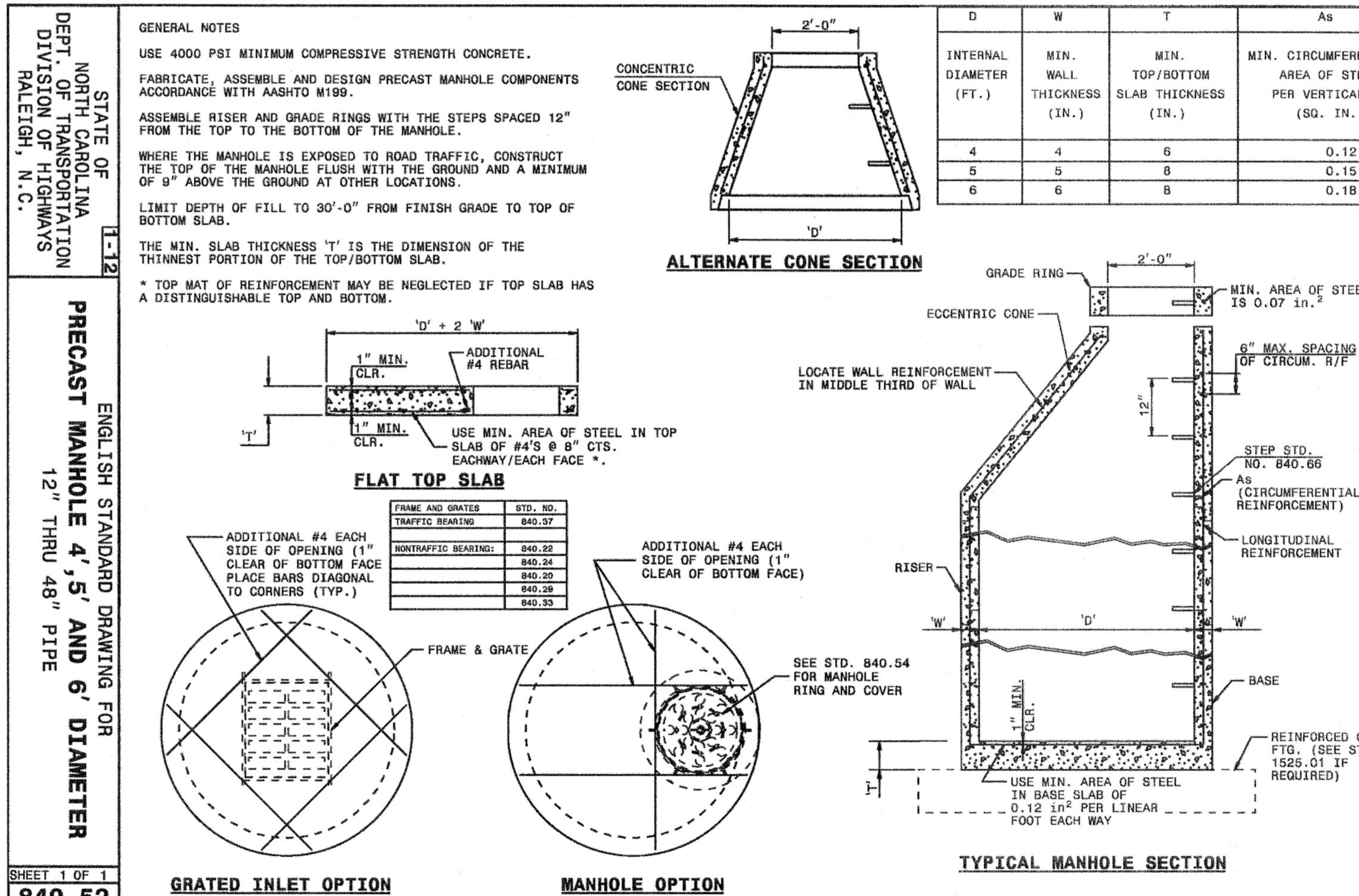
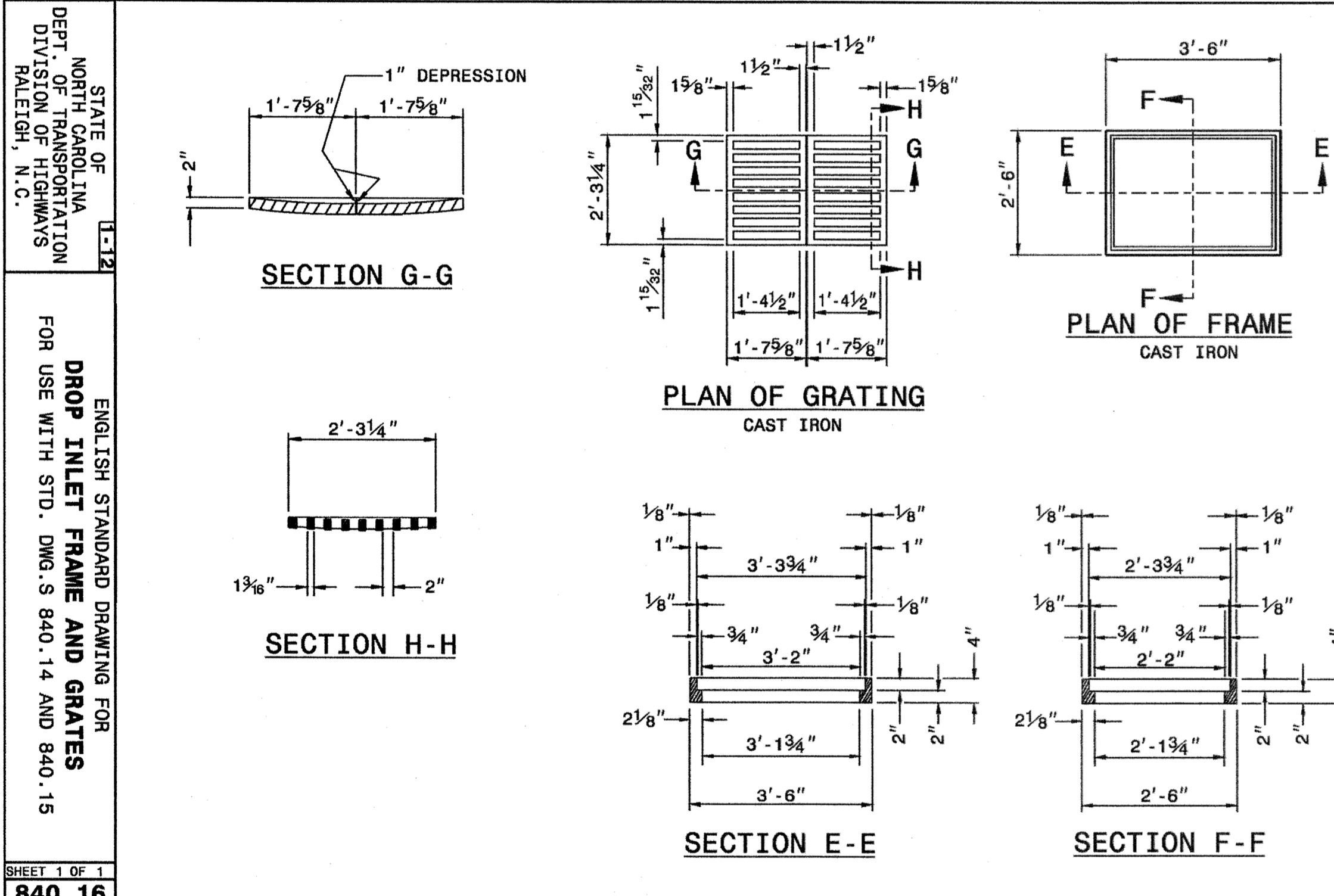
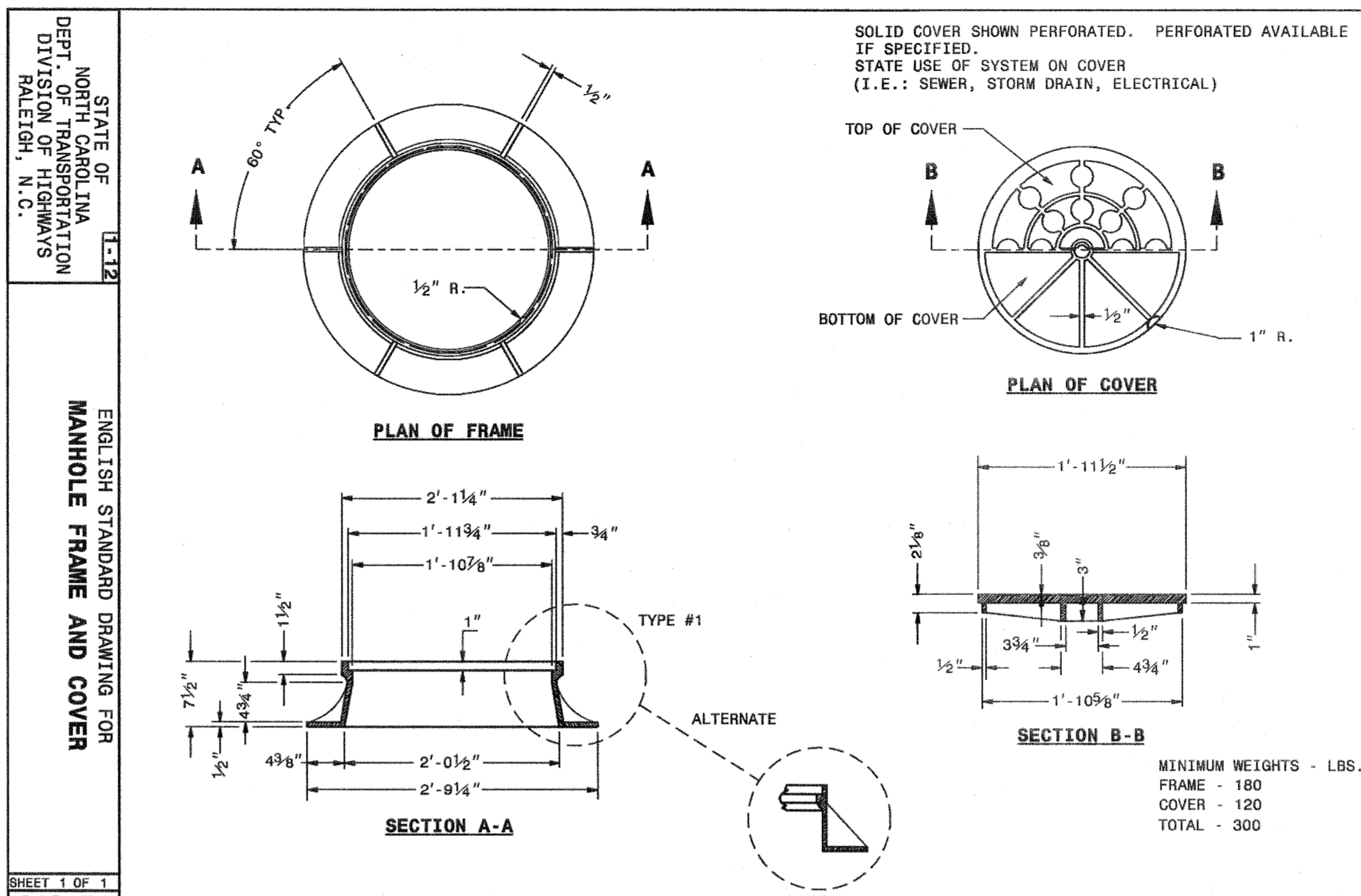
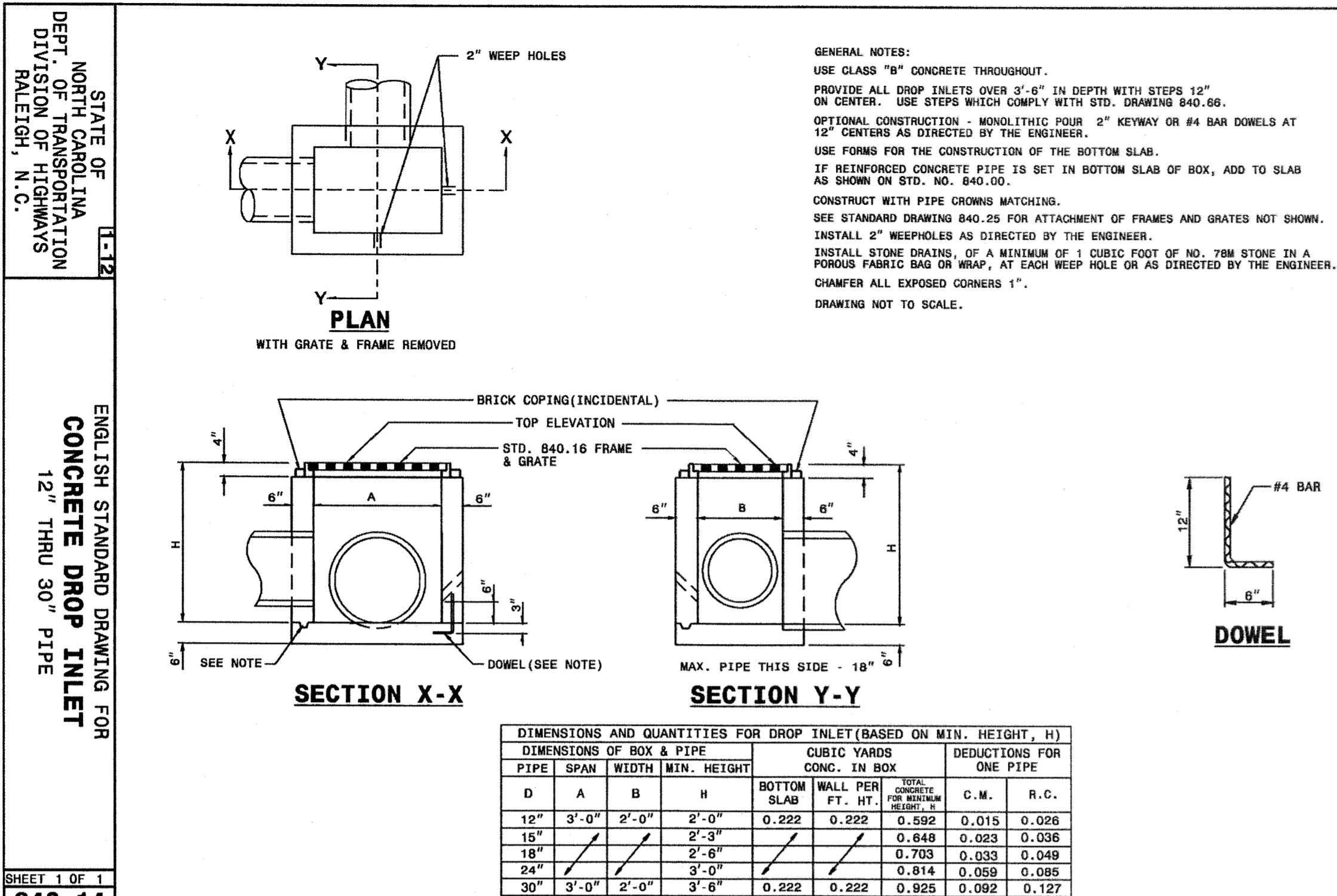
Public Services Engineering Division

APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



ALL DESIGNS, SKETCHES, DRAWINGS, SPECIFICATIONS, MODELS AND SAMPLES ARE THE EXCLUSIVE PROPERTY OF THE H. CHAMBERS COMPANY, WHETHER THE JOB FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. UNAUTHORIZED USE OF THESE DESIGNS ETC. FOR ANY OTHER PURPOSE IS PROHIBITED.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB INCLUDING BUILDING, ELEVATOR AND CORRIDOR CLEARANCES WHERE FOR CONDITIONS PREVENT OBTAINING DIMENSIONS, OR RESULTS AS SHOWN OR SPECIFIED, CHECK WITH THE H. CHAMBERS COMPANY BEFORE PROCEEDING WITH THE WORK.

Issue	TYPE	DATE
● SCHEMATIC DESIGN		12.18.13
● DESIGN DEVELOPMENT		05.23.14
● 100% CD		06.27.14
● BID AND PERMIT SET		07.25.14
FOR CONSTRUCTION		-

Revisions	NO.	TYPE	DATE

SEAL



**CHAMBERS**  
ARCHITECTURAL ASSOCIATES

PLANNING  
ARCHITECTURE  
INTERIOR DESIGN  
PURCHASING

ARCHITECT & INTERIORS  
CHAMBERS  
1800 WASHINGTON BLVD.  
SUITE 111  
BALTIMORE, MARYLAND 21230  
PHONE: (410) 727-4535  
FAX: (410) 727-6982

**WK DICKSON**  
community infrastructure consultants  
Transportation + Water Resources  
Urban Development + Geomaterials

909 MARKET STREET  
WILMINGTON, NC 28401  
(t) (910) 762-4200  
(f) (910) 762-4201  
www.wkdickson.com  
LICENSE NO. F-0374  
DENISE L. FREUND, PE



1896  
FAMILY ACTIVITY  
CENTER - CAPE FEAR  
COUNTRY CLUB  
1518 COUNTRY CLUB ROAD

Sheet Title

DRAINAGE DETAILS

Scale: AS SHOWN

Date: 07/25/14

Drawn By: HRW

Checked By: DLF

Job No.: 20130125.00.WL

Sheet Number

**C.11**

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

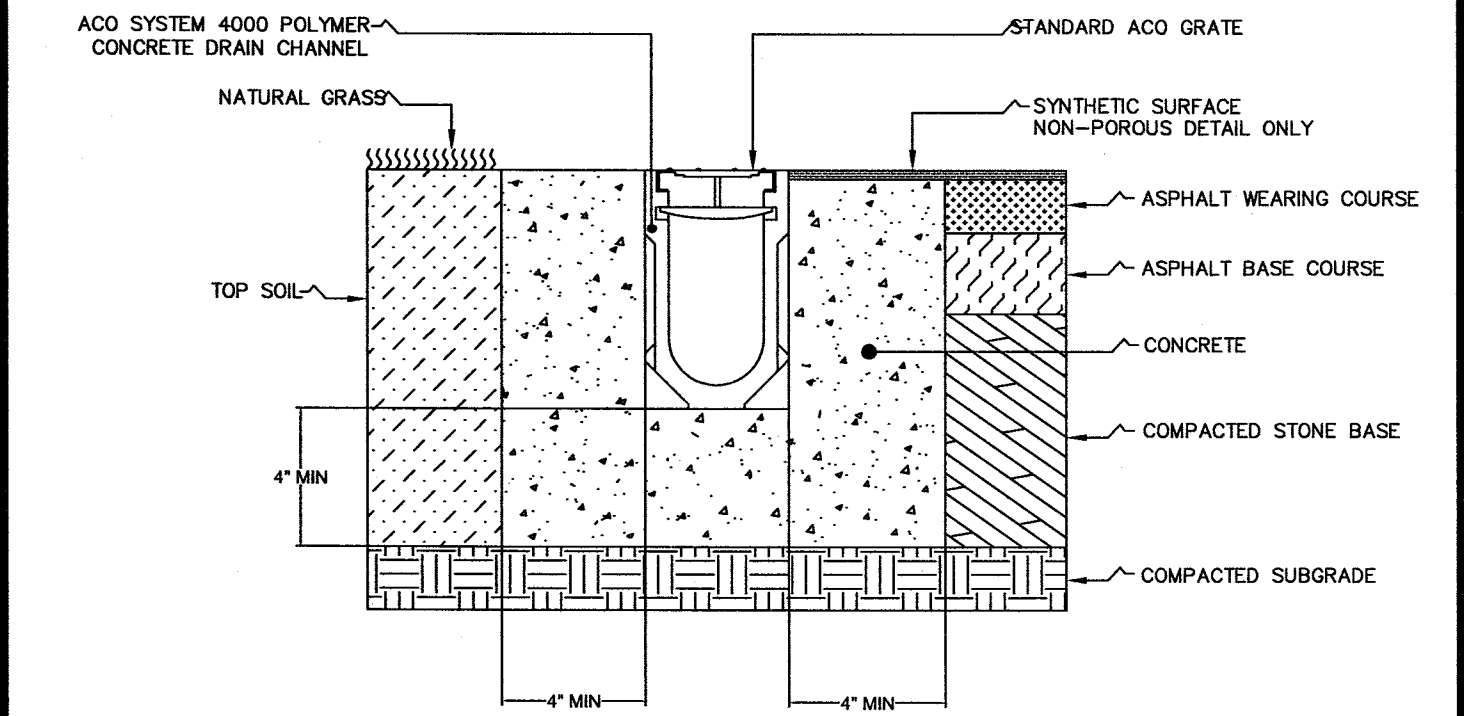
Fire \_\_\_\_\_

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services Engineering Division  
APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



The surface drainage system shall be System 4002\* as manufactured by ACO Polymer Products, Inc., Chardon, OH. Channels shall be manufactured from polyester resin polymer concrete.

Standard ACO Drain grates and locking devices are used, see separate specification sheets for information.

The system shall be 4 inches (100mm) nominal inside width with a 6.1 in. (155mm) overall width.

All channels shall be interlocking with a male/female joint.

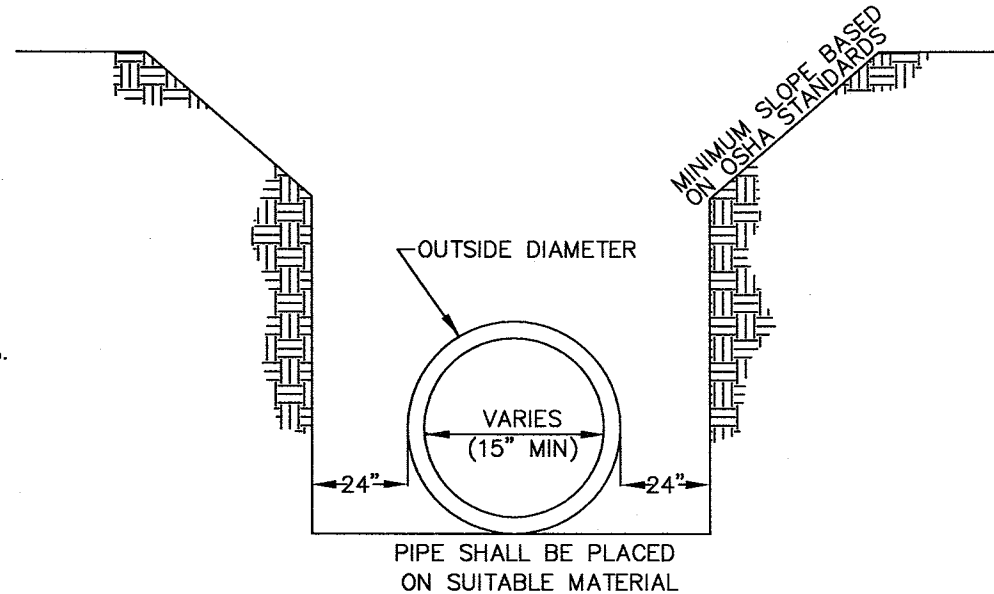
The complete drainage system shall be by ACO Polymer Products, Inc. Any deviation or partial system design and/or improper installation will void any and all warranties provided by ACO Polymer Products, Inc.

Polymer Concrete shall have material properties of: compressive strength range between 14,000-14,500 psi; flexural strength between 3600-4500 psi; tensile strength of 1500 psi. The material water absorption rate shall not exceed 0.1% by weight and shall be resistant to prolonged salt exposure, and repetitive frost cycles.

The system shall be installed in accordance with the manufacturer's instructions and recommendations. Refer to Architect's plans for trench and catch basin location.

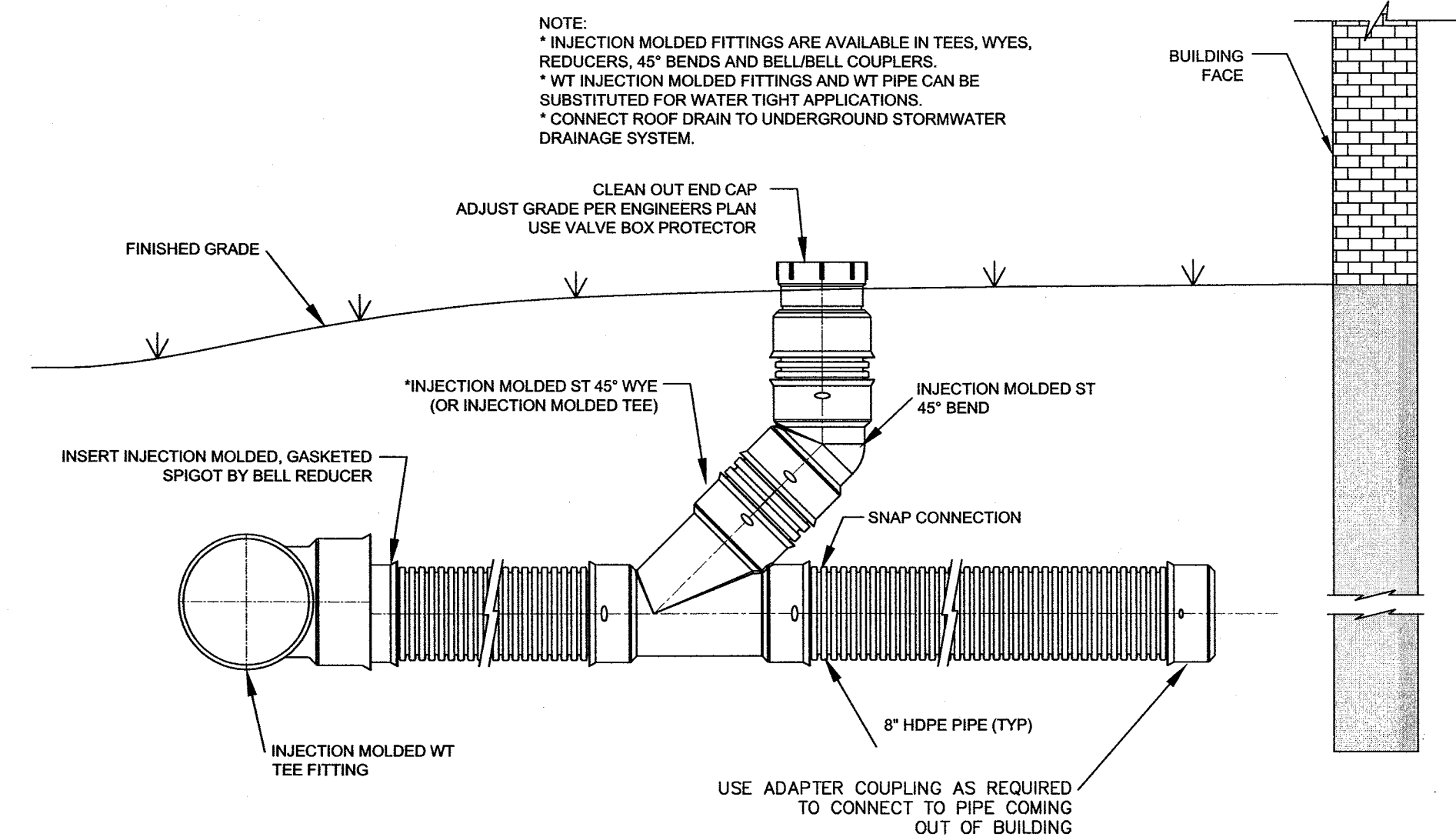
#### NOTES:

- A MINIMUM OF 24" FROM OUTSIDE DIAMETER OF PIPE TO SIDE OF TRENCH MUST BE ALLOWED FOR COMPACTION OF FILL MATERIAL. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER THE PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE PLACED IN LAYERS NOT TO EXCEED 6". UNDER NO CIRCUMSTANCES SHALL WATER BE PERMITTED TO RISE IN UNBACKFILLED TRENCHES AFTER THE PIPE HAS BEEN PLACED. COMPACTION REQUIREMENTS SHALL BE ATTAINED BY THE USE OF MECHANICAL TAMPS ONLY. EACH AND EVERY LAYER OF BACKFILL SHALL BE PLACED LOOSE AND THOROUGHLY COMPACTED INTO PLACE.
- ALL BACKFILL MATERIAL SHALL HAVE AN IN PLACE COMPACTED DENSITY OF 95%.
- STANDARD PROCTOR. THE FINAL 2' BELOW FINISHED GRADE SHALL BE 100%.
- ALL TRENCHING OPERATIONS SHALL MEET OSHA STANDARDS.
- BACKFILL MATERIAL BENEATH ROADWAY SHALL BE SELECT BACKFILL MATERIAL.



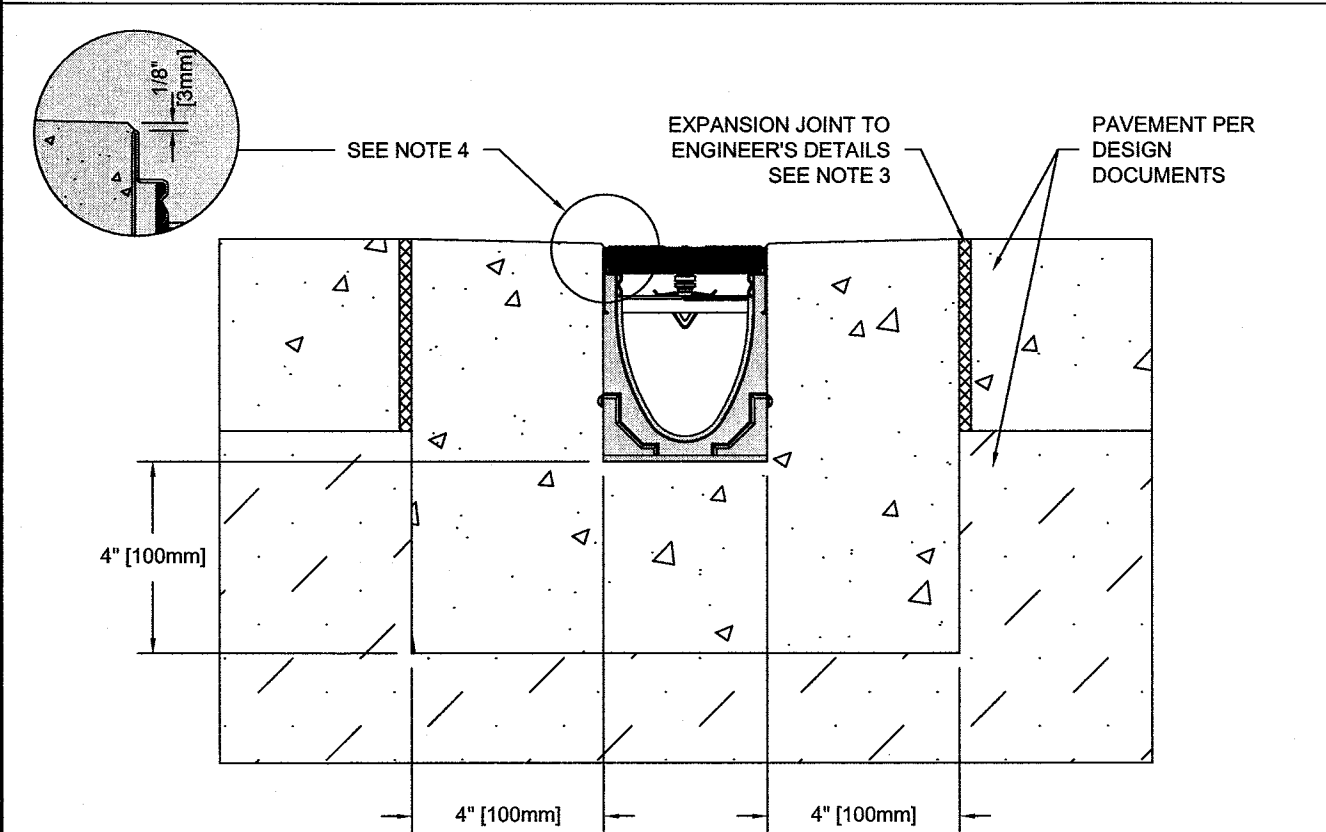
### TRENCH DETAIL FOR STORM DRAIN PIPES

NOT TO SCALE



### ROOF DRAIN DETAIL WITH CLEANOUT

NOT TO SCALE

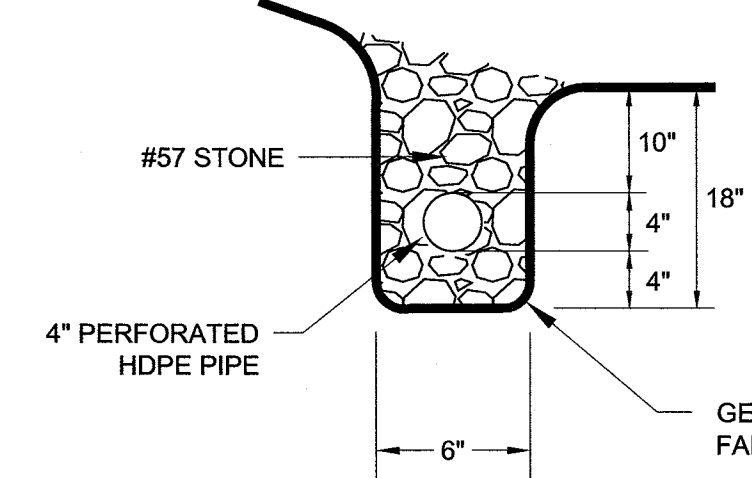


#### NOTES:

- IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS. ENGINEERING ADVICE MAY BE REQUIRED.
- MINIMUM CONCRETE STRENGTH OF 4000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
- EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND. ENGINEERING ADVICE MAY BE REQUIRED.
- THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" (3mm) ABOVE THE TOP OF THE CHANNEL EDGE.
- CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. ENGINEERING ADVICE MAY BE REQUIRED TO DETERMINE PROPER LOAD CLASS.
- REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

### PERFORATED TRENCH DRAIN DETAIL

NOT TO SCALE

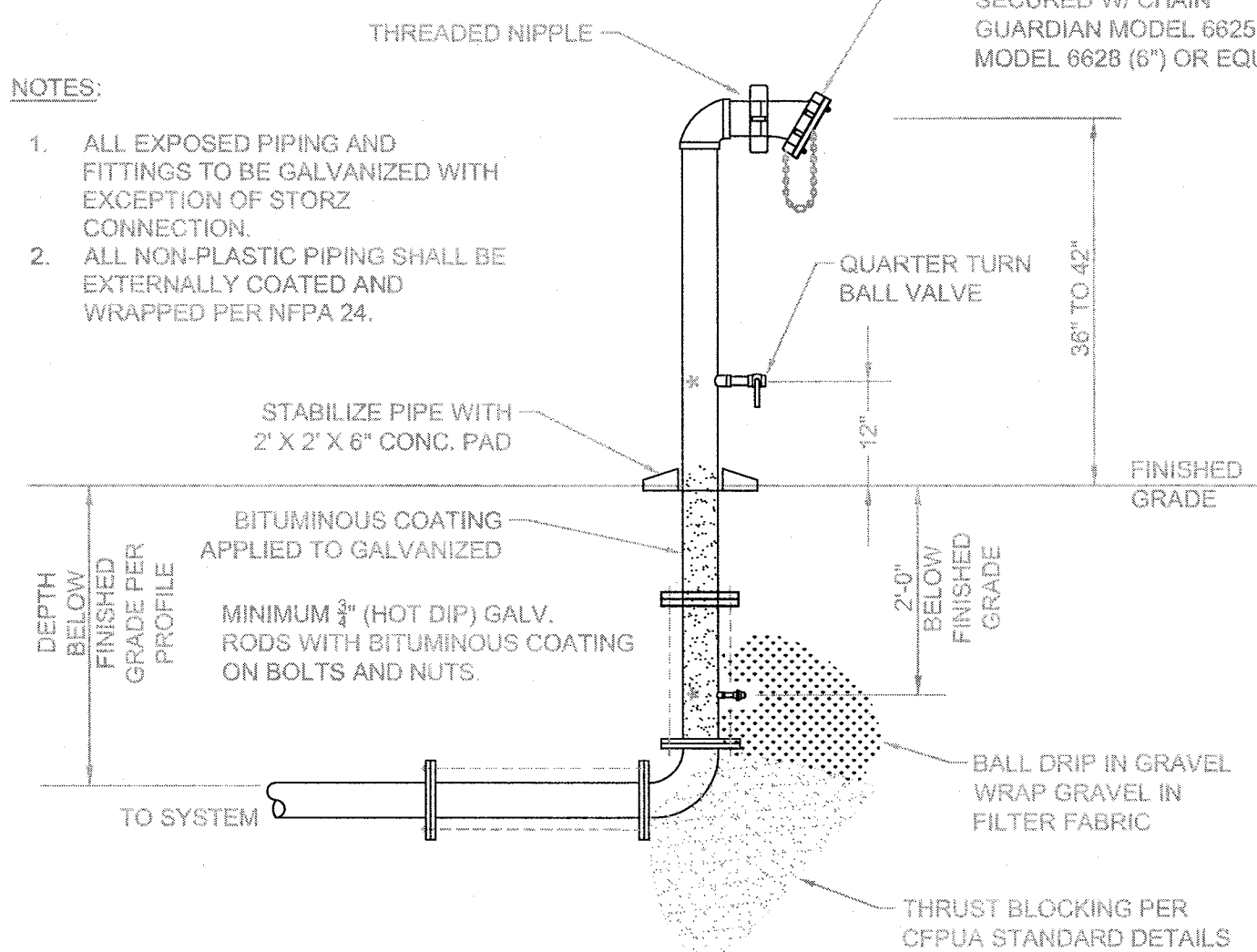


#### NOTES:

- TRENCH DRAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 12".
- TRENCH DRAIN SHALL BE INSTALLED WITH A MINIMUM SLOPE OF 0.50%.
- ENDS OF TRENCH DRAIN TO BE COVERED WITH A NON-WOOLEN GEOTEXTILE FABRIC TO PREVENT SEDIMENT FROM ENTERING TRENCH DRAIN.

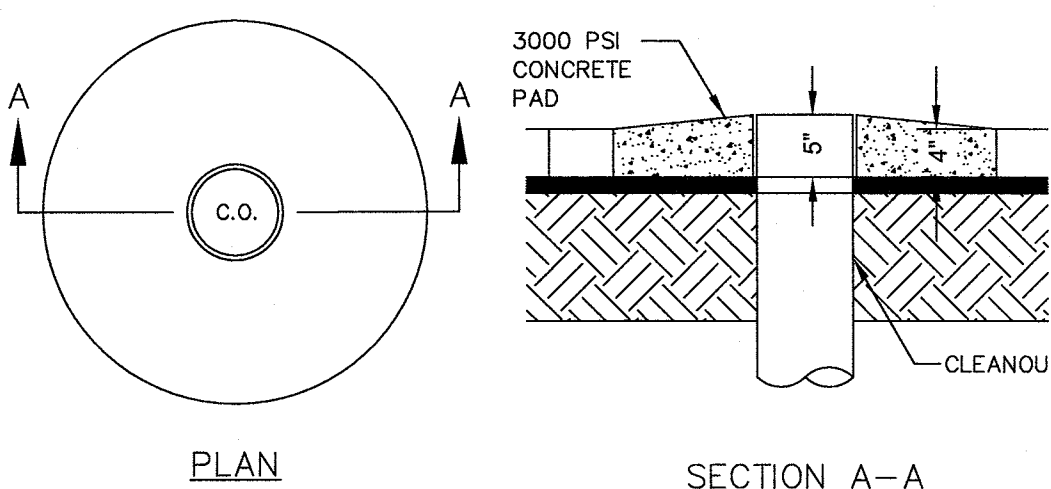
#### NOTES:

- ALL EXPOSED PIPING AND FITTINGS TO BE GALVANIZED WITH EXCEPTION OF STORZ CONNECTION.
- ALL NON-PLASTIC PIPING SHALL BE EXTERNALLY COATED AND WRAPPED PER NFPA 24.



### YARD FDC DETAIL

NOT TO SCALE



### CLEANOUT PAD DETAIL

NOT TO SCALE

### SPECIFICATION CLAUSE

#### K100 KLASSIKDRAIN - LOAD CLASS A

GENERAL  
THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE K100 CHANNEL SYSTEM WITH GALVANIZED STEEL EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

MATERIALS  
CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN GALVANIZED STEEL EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:  
COMPRESSIVE STRENGTH: 14,000 PSI  
FLEXURAL STRENGTH: 4,000 PSI  
TENSILE STRENGTH: 1,500 PSI  
WATER ABSORPTION: 0.07%  
FROST PROOF: YES  
DILUTE ACID AND ALKALI RESISTANT: YES  
B117 SALT SPRAY TEST COMPLIANT: YES

THE SYSTEM SHALL BE 4" (100mm) NOMINAL INTERNAL WIDTH WITH A 5.1" (130mm) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

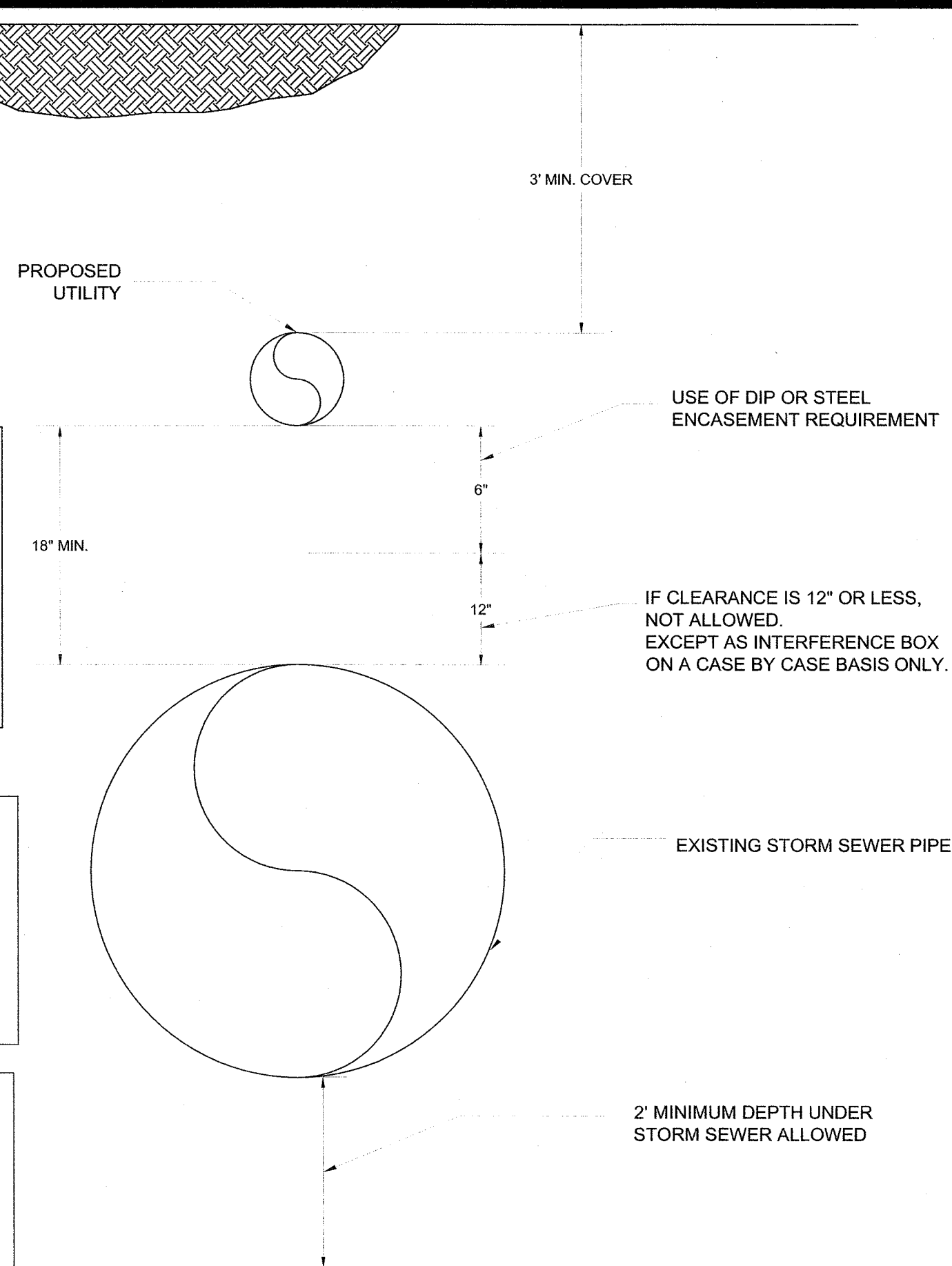
THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION. GRATES SHALL BE SECURED USING 'QUICKLOCK' BOLTLESS LOCKING SYSTEM. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

WILMINGTON  
NORTH CAROLINA  
Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

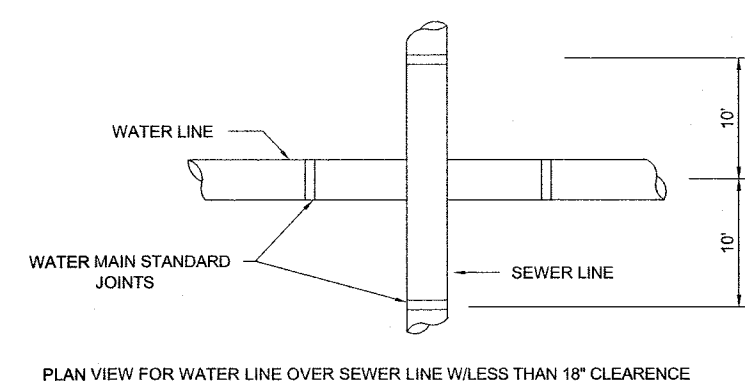
WILMINGTON  
NORTH CAROLINA  
Public Services Engineering Division  
APPROVED DRAINAGE PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

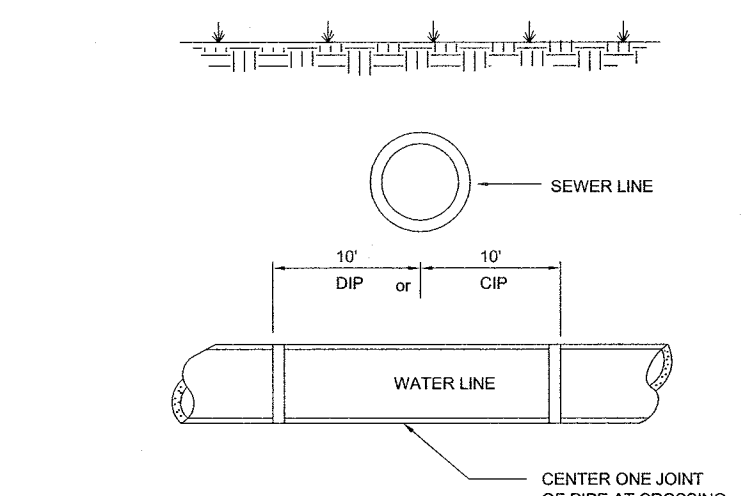


### PROPOSED UTILITY OVER EXISTING STORM SEWER

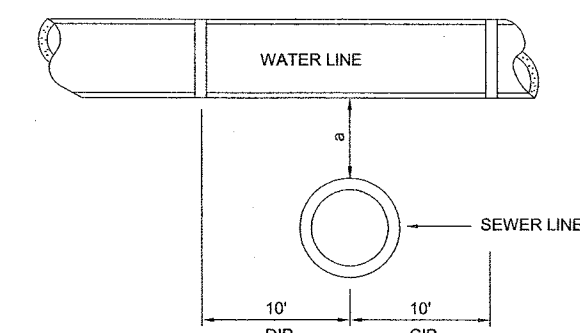
NOT TO SCALE



PLAN VIEW FOR WATER LINE OVER SEWER LINE WITH LESS THAN 18" CLEARANCE

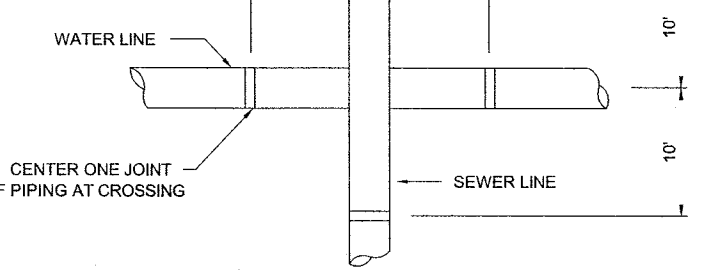


PLAN VIEW FOR WATER LINE UNDER SEWER LINE



PLAN VIEW FOR WATER LINE UNDER SEWER LINE

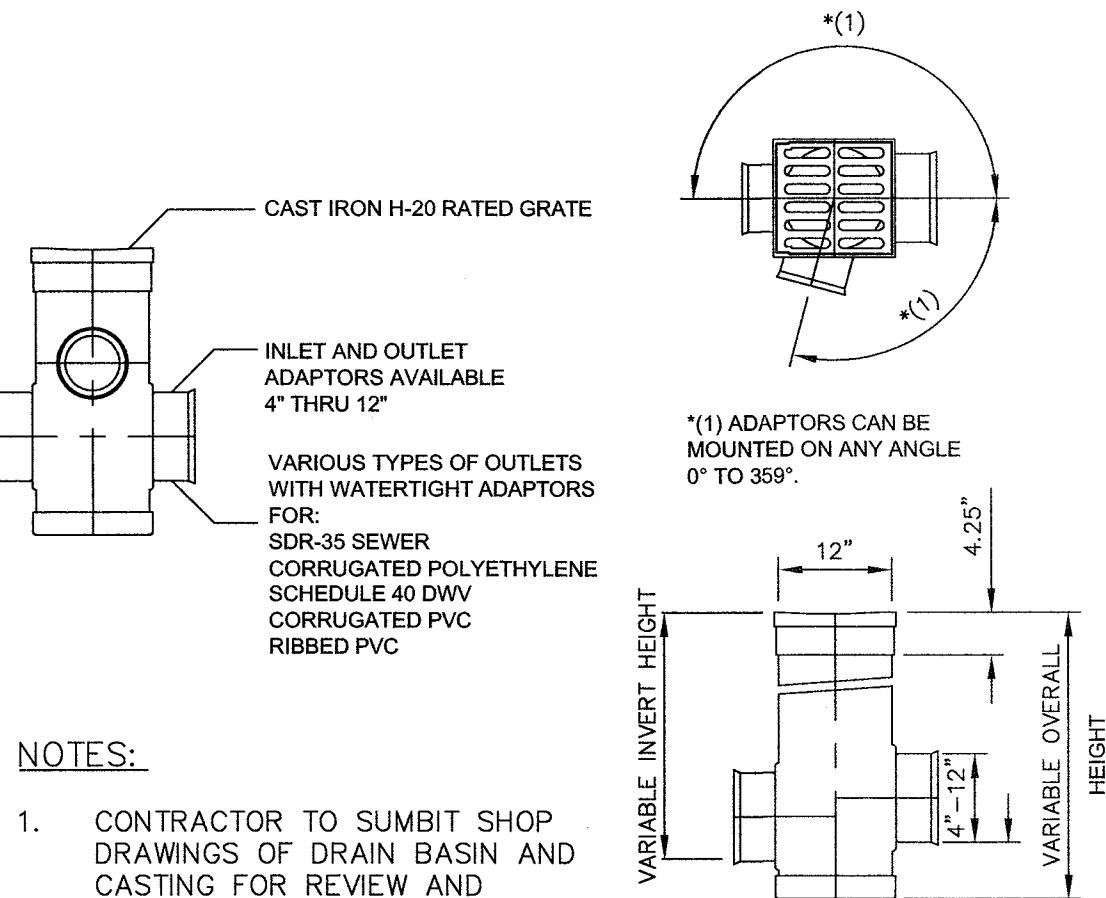
WATER AND SEWER LINE SHALL BE WATER MAIN STANDARD (JOINTS) FERROUS METAL PIPE (DIP), FOR 10' EACH SIDE OF CROSSING. ONE JOINT OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.



PLAN VIEW FOR WATER LINE UNDER SEWER LINE

### WATER AND SEWER CROSSINGS

NOT TO SCALE



#### NOTES:

- CONTRACTOR TO SUBMIT SHOP DRAWINGS OF DRAIN BASIN AND CASTING FOR REVIEW AND APPROVAL.

### 12" DRAIN BASIN

NOT TO SCALE

### 12" CAST IRON GRATE

NOT TO SCALE

ALL DESIGNS, SKETCHES, DRAWINGS, SPECIFICATIONS, MODELS AND SAMPLES ARE THE EXCLUSIVE PROPERTY OF THE H. CHAMBERS COMPANY, WHETHER THE JOB FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. UNAUTHORIZED USE OF THESE DESIGNS ETC. FOR ANY OTHER PURPOSE IS PROHIBITED.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB, INCLUDING BUILDING, ELEVATOR AND CORRIDOR CLEARANCES WHERE JOB CONDITIONS PREVENT OBTAINING DIMENSIONS, OR RESULTS AS SHOWN OR SPECIFIED. CHECK WITH THE H. CHAMBERS COMPANY BEFORE PROCEEDING WITH THE WORK.

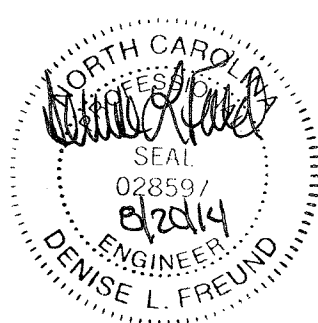
### Issue

	TYPE	DATE
●	SCHEMATIC DESIGN	12.18.13
●	DESIGN DEVELOPMENT	05.23.14
●	100% CD	06.27.14
●	BID AND PERMIT SET	07.25.14
	FOR CONSTRUCTION	-

### Revisions

NO.	TYPE	DATE

SEAL



### CHAMBERS ARCHITECTURAL ASSOCIATES



ARCHITECT & INTERIORS  
CHAMBERS  
1800 WASHINGTON BLVD.  
SUITE 111  
BALTIMORE, MARYLAND 21230  
PHONE: (410) 727-4535  
FAX: (410) 727-6982

WK  
DICKSON  
community infrastructure consultants  
Transportation + Water Resources  
Urban Development + Geomatics

909 MARKET STREET  
WILMINGTON, NC 28401  
(t) (910) 762-4200  
(f) (910) 762-4201  
www.wkdickson.com  
LICENSE NO. F-0374  
DENISE L. FREUND, PE



FAMILY ACTIVITY  
CENTER - CAPE FEAR  
COUNTRY CLUB  
1518 COUNTRY CLUB ROAD

Sheet Title

DRAINAGE AND UTILITY  
DETAILS

Scale: AS SHOWN

Date: 07/25/14

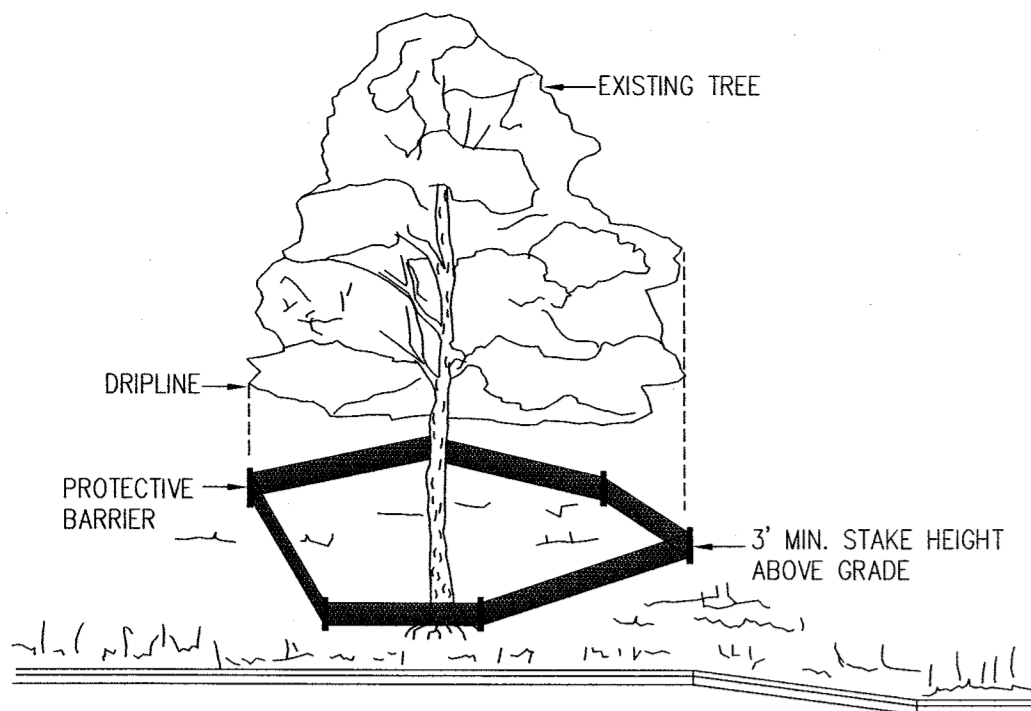
Drawn By: HRW

Checked By: DLF

Job No.: 20130125.00.WL

Sheet Number

C.12

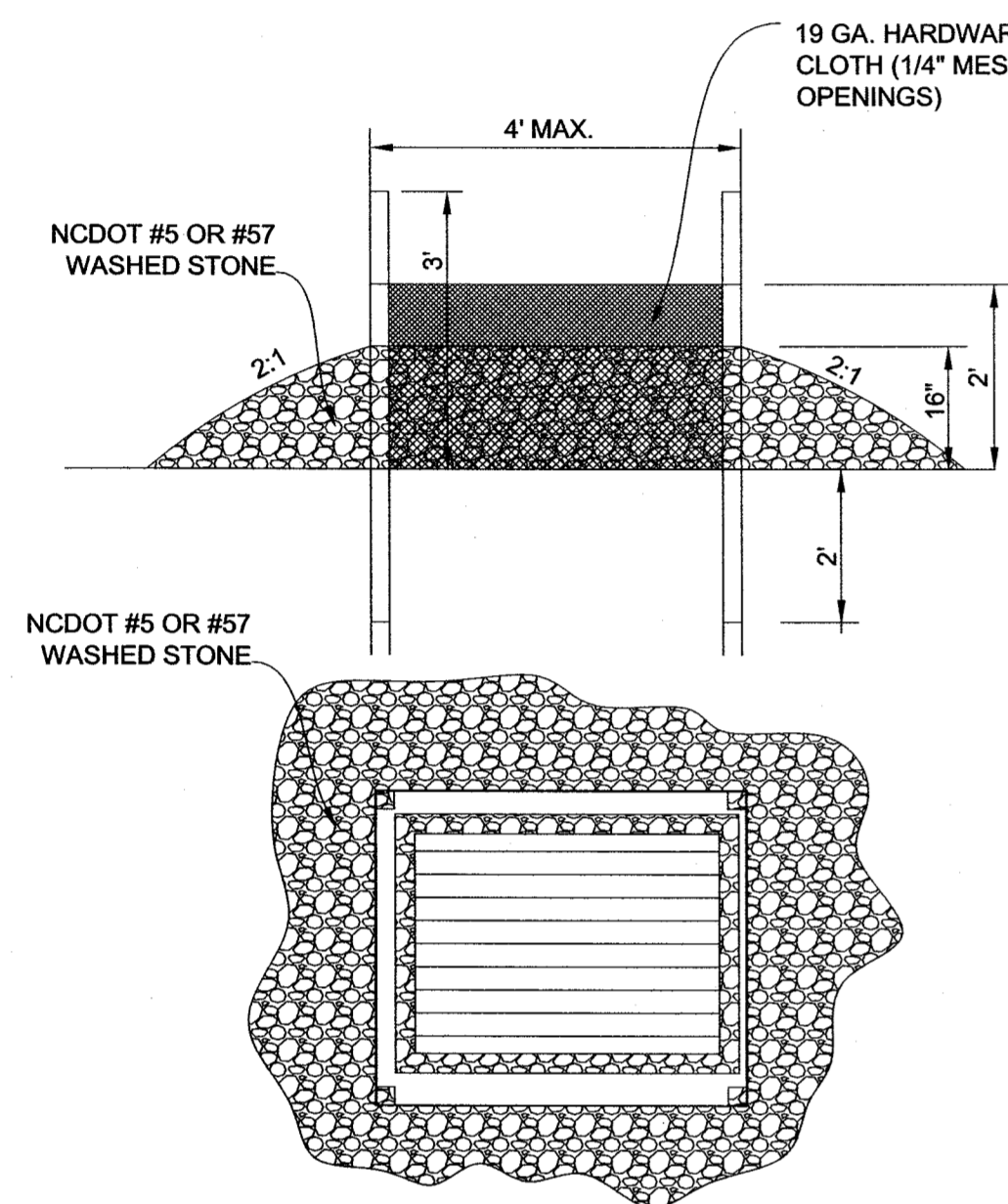


NOTE:  
CLEARLY MARK TREES TO BE SAVED PRIOR TO CONSTRUCTION  
AND PROVIDE A PROTECTIVE BARRIER AT THE DRIP LINE.

DRIP LINE - THE AREA OF SOIL DIRECTLY BENEATH THE TREE  
EXTENDING OUT TO THE TIPS OF THE OUTERMOST BRANCHES.

## TREE PROTECTION FENCE

NOT TO SCALE

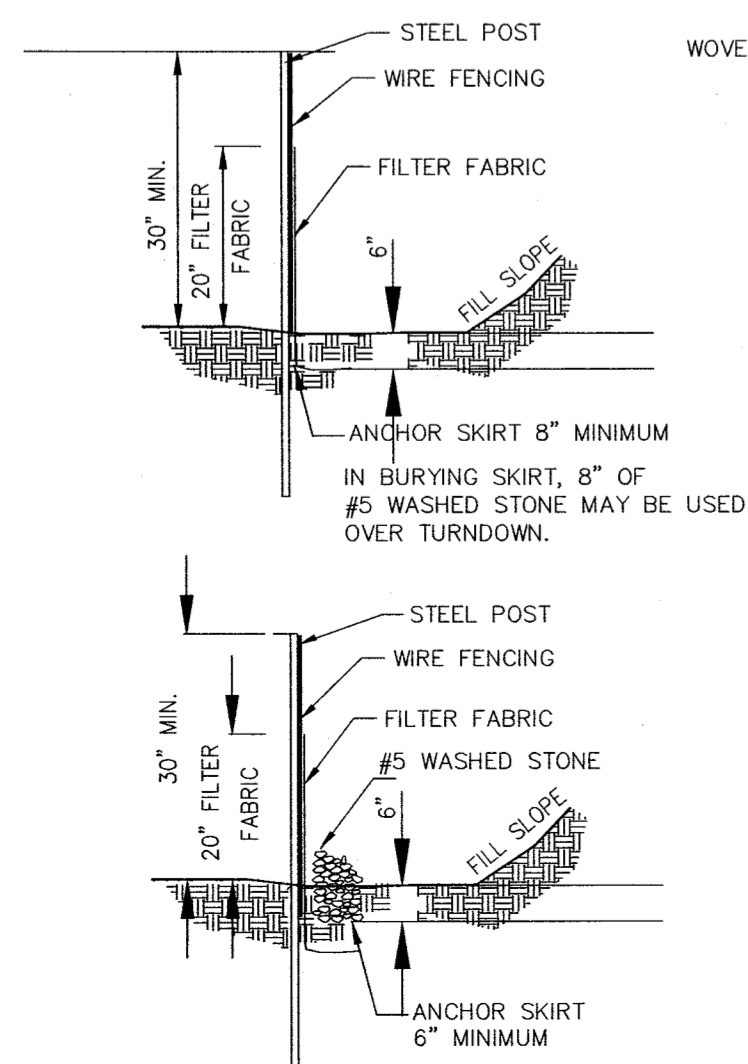


### CONSTRUCTION SPECIFICATIONS:

- UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
- DRIVE 5' STEEL POSTS 2' INTO THE GROUND, SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET A MAXIMUM OF 4' APART.
- SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE AND BOTTOM. PLACING A 2-FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING AS RECOMMENDED.
- PLACE CLEAN GRAVEL (NCDOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
- ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
- COMPACT THE AREA PROPERLY AND STABILIZE IT WITH GROUND COVER.

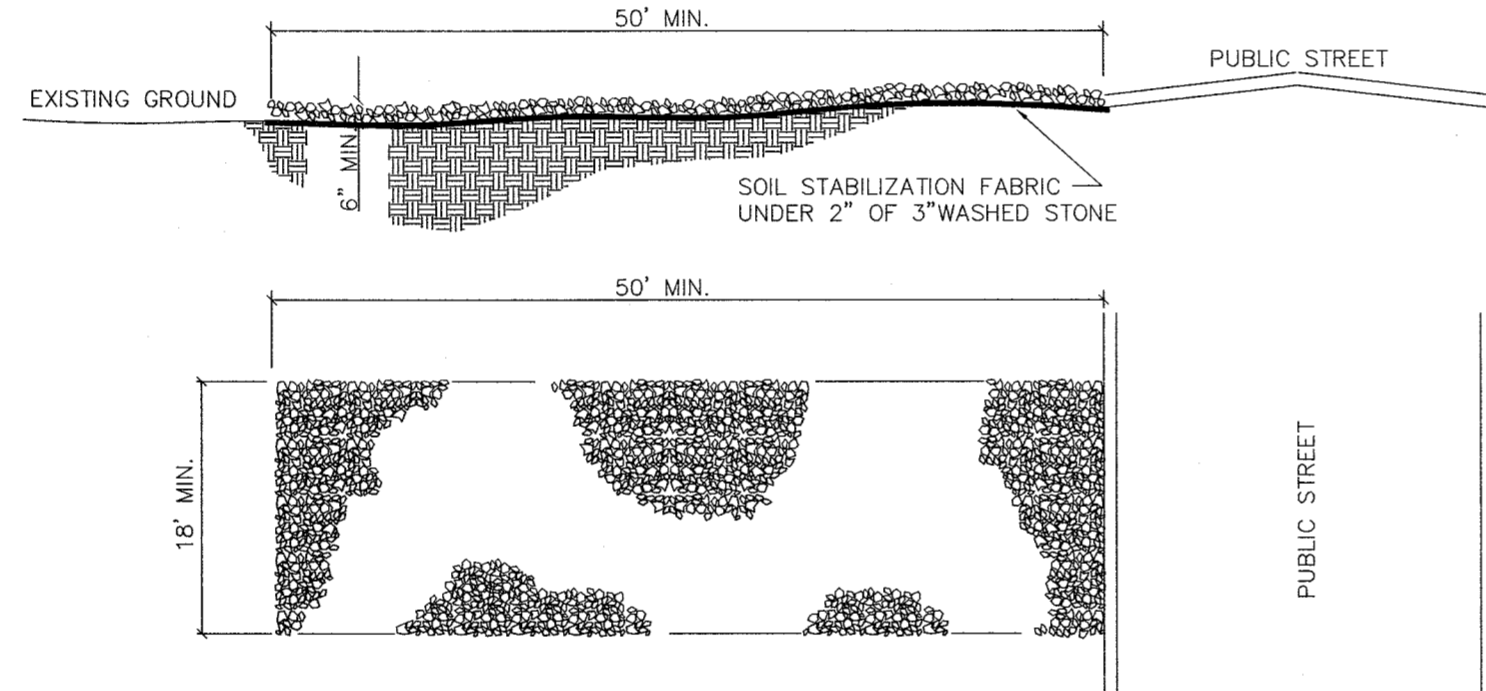
## DROP INLET PROTECTION

NOT TO SCALE



### EROSION AND SEDIMENT CONTROL NOTES:

- STABILIZATION MEASURES INCLUDING TEMPORARY GRASSING SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.  
-WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED EVERY SEVEN (7) DAYS. IF SITE INSPECTIONS IDENTIFY DEVICES THAT ARE DAMAGED OR ARE NOT OPERATING EFFECTIVELY, MAINTENANCE MUST BE PERFORMED AS SOON AS PRACTICAL OR AS REASONABLY POSSIBLE AND BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- INLET PROTECTION IS TO BE PROVIDED AT ALL EXISTING INLETS THAT RECEIVE FLOW FROM THE DISTURBED AREAS.
- CONTRACTOR SHALL PROVIDE ONE STABILIZED CONSTRUCTION ENTRANCE AT ALL TIMES DURING CONSTRUCTION. LOCATION SHALL BE FIELD LOCATED AND COORDINATED WITH THE OWNER.

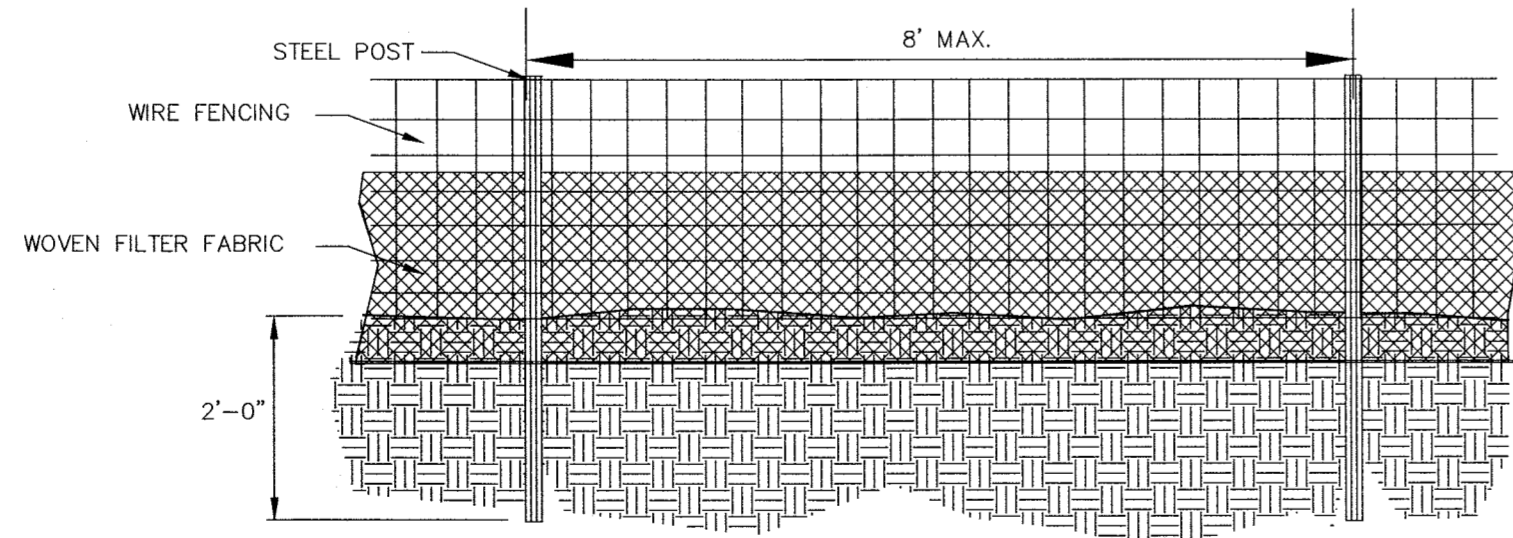


### NOTES:

- A STABILIZED ENTRANCE PAD OF 2\"/>
- FILTER FABRIC OR COMPACTED CRUSHER RUN STONE MAY BE USED AS A BASE FOR THE CONSTRUCTION ENTRANCE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS WARRANT AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- ANY SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY.
- WHEN APPROPRIATE, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN CAUSE SEDIMENT BASIN.
- SOIL STABILIZATION FABRIC (AS SPECIFIED BY THE DESIGNER) SHALL BE USED.

## STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



### GENERAL NOTES:

- FILTER FABRIC FENCE SHALL BE A MINIMUM OF 32\"/>
- WOVEN FILTER FABRIC BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
- STEEL POSTS SHALL BE 5'-0\"/>
- WIRE FENCING SHALL BE AT LEAST #10 GAGE WITH A MINIMUM OF 6 LINE WIRES WITH 12\"/>
- TURN SILT FENCE UP SLOPE AT ENDS.
- WIRE MESH SHALL BE MIN. 13 GAGE WITH MAXIMUM 12\"/>
- WIRE AND WASHED STONE WILL BE REQUIRED AND NOTED ON PLANS WHEN:  
A. AT TOE OF SLOPES GREATER THAN 10 FEET VERTICAL (2:1 SLOPE)  
B. AT DENUDED LIMITS WHERE AN UNDISTURBED BUFFER IS 50 FEET OR LESS AWAY

## SILT FENCE

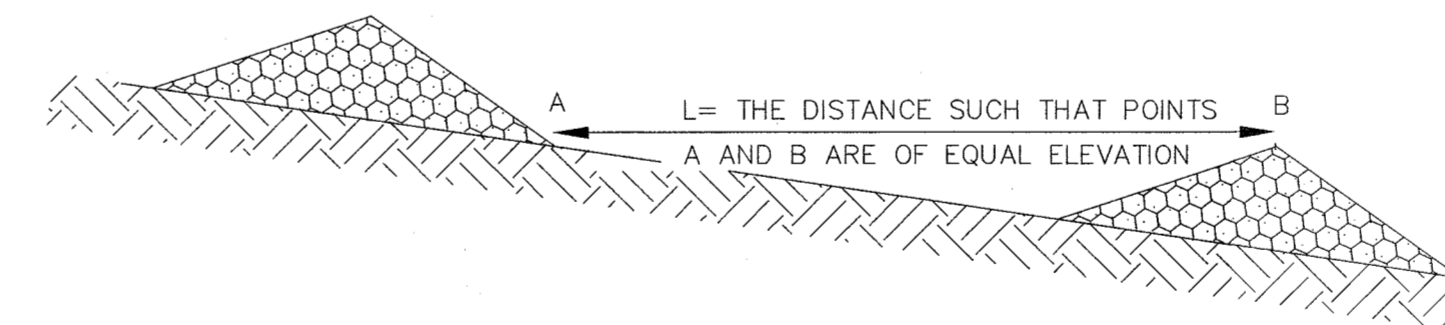
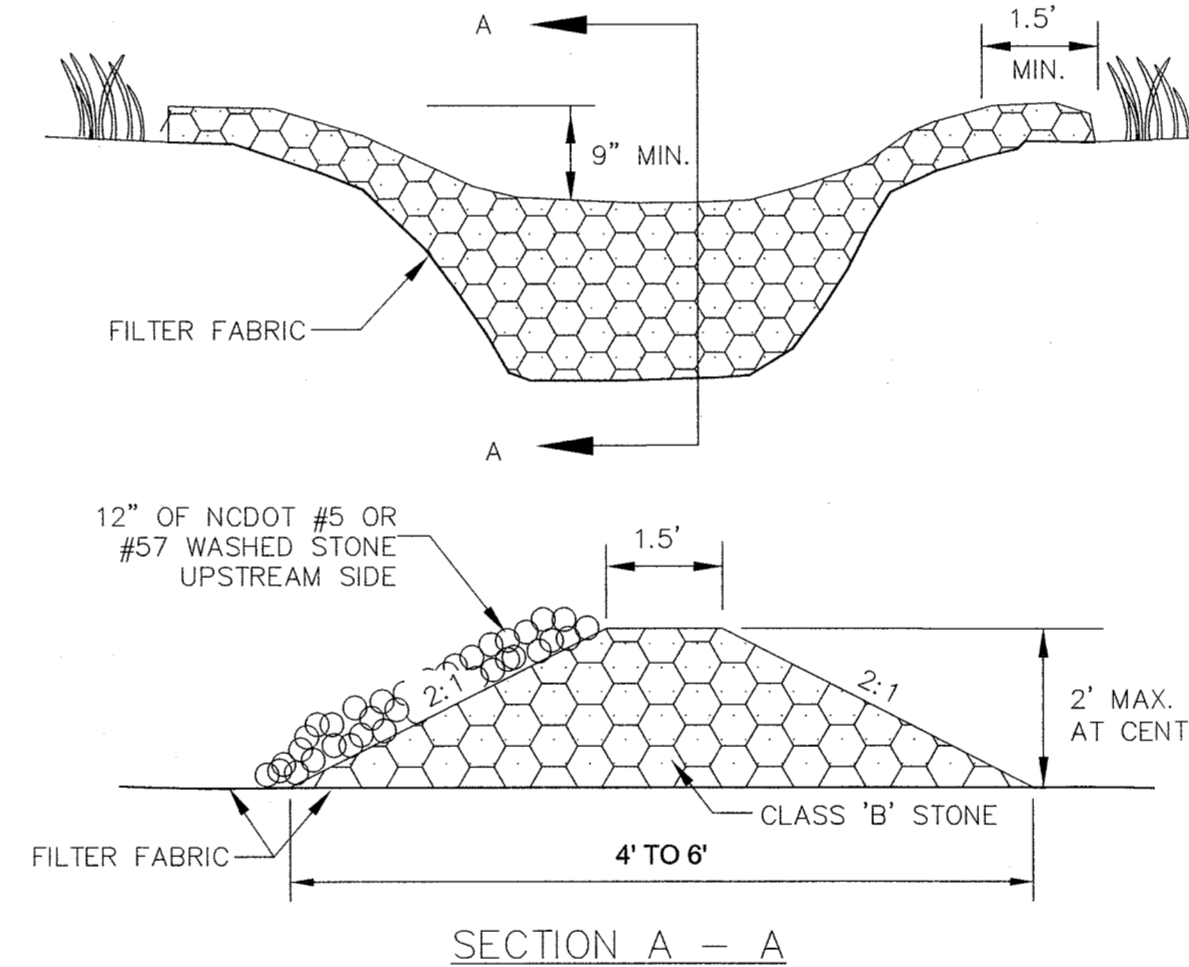
NOT TO SCALE

### MAINTENANCE REQUIREMENTS

- RESEED AND MULCH SEEDED AREAS WHERE SEEDLING EMERGENCE IS POOR, OR WHERE EROSION OCCURS, AS SOON AS POSSIBLE. DO NOT MOW. PROTECT FROM TRAFFIC AS MUCH AS POSSIBLE.
- MOW SEEDED AREAS NO MORE THAN ONCE A YEAR. REFERTILIZE IN THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY.
- RIPRAP SHOULD BE INSPECTED PERIODICALLY FOR SCOUR OR DISLOGGED STONES. CONTROL OF WEED AND BRUSH GROWTH MAY BE NEEDED IN SOME LOCATIONS.
- INSPECT PERMANENT DIVERSIONS AFTER EVERY RAINFALL DURING THE CONSTRUCTION OPERATION. IMMEDIATELY REMOVE ANY OBSTRUCTIONS FROM THE FLOW AREA, AND REPAIR THE DIVERSION RIDGE. CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. MAINTAIN THE VEGETATION IN A VIGOROUS, HEALTHY CONDITION AT ALL TIMES.
- INSPECT CHANNELS AT REGULAR INTERVALS AS WELL AS AFTER MAJOR RAINS AND MAKE REPAIRS PROMPTLY. GIVE SPECIAL ATTENTION TO THE OUTLET AND INLET SECTIONS OTHER POINTS WHERE CONCENTRATED FLOW ENTERS. SCOUR HOLES OR BANK FAILURES. MAKE REPAIRS IMMEDIATELY. MAINTAIN ALL VEGETATION ADJACENT TO THE CHANNEL IN A HEALTHY, VIGOROUS CONDITION TO PROTECT THE AREA FROM EROSION AND SCOUR DURING OUT-OF-BANK FLOW.
- INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.
- INSPECT SILT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SILT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF NO. 4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
- INSPECT CHECK DAMS AND CHANNELS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. CLEAN OUT SEDIMENT, STRAW, LIMBS, OR OTHER DEBRIS THAT COULD CLOG THE CHANNEL WHEN NEEDED.

ANTICIPATE SUBMERGENCE AND DEPOSITION ABOVE THE CHECK DAM AND EROSION FROM HIGH FLOWS AROUND THE EDGES OF THE DAM. CORRECT ALL DAMAGE IMMEDIATELY. IF SIGNIFICANT EROSION OCCURS BETWEEN DAMS, ADDITIONAL MEASURES CAN BE TAKEN SUCH AS, INSTALLING A PROTECTIVE RIPRAP LINER IN THAT PORTION OF THE CHANNEL.

REMOVE SEDIMENT ACCUMULATED BEHIND THE DAMS AS NEEDED TO PREVENT DAMAGE TO CHANNEL VEGETATION. ALLOW THE CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM, AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM. ADD STONES TO DAMS AS NEEDED TO MAINTAIN DESIGN HEIGHT AND CROSS SECTION.



- PLACE STONE TO THE LINES AND DIMENSIONS SHOWN IN THE PLAN ON A FILTER FABRIC FOUNDATION.
- KEEP THE CENTER STONE SECTION AT LEAST 9 INCHES BELOW NATURAL GROUND LEVEL WHERE THE DAM ABUTS THE CHANNEL BANKS.
- EXTEND STONE AT LEAST 1.5 FT. BEYOND THE DITCH BANK TO KEEP WATER FROM CUTTING AROUND THE ENDS OF THE CHECK DAM.
- SET SPACING BETWEEN DAMS TO ASSURE THAT THE ELEVATION AT THE TOP OF THE LOWER DAM IS THE SAME AS THE TOE ELEVATION OF THE UPPER DAM.
- PROTECT THE CHANNEL AFTER THE LOWEST CHECK DAM FROM HEAVY FLOW THAT COULD CAUSE EROSION.
- MAKE SURE THAT THE CHANNEL REACH ABOVE THE MOST UPSTREAM DAM IS STABLE.
- ENSURE THAT OTHER AREAS OF THE CHANNEL, SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS, ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

## TEMPORARY ROCK CHECK DAM

NOT TO SCALE

City of Wilmington, North Carolina  
**Approved Construction Plan**

Name	Date
Planning	
Traffic	
Fire	

City of Wilmington, North Carolina  
Public Services Engineering Division  
**APPROVED DRAINAGE PLAN**

Date:	Permit #
Signed:	

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

### EROSION CONTROL NOTES

#### SEEDBED PREPARATION NOTES

- SURFACE WATER CONTROL MEASURES TO BE INSTALLED ACCORDING TO PLAN. COMPLETE GRADING BEFORE PREPARING SEEDBED.
- AREAS TO BE SEEDBED SHALL BE RIPPED AND SPREAD WITH AVAILABLE TOPSOIL 3\"/>
- LOOSE ROCKS, ROOTS AND OTHER OBSTRUCTIONS SHALL BE REMOVED FROM THE SURFACE TO PREVENT INTERFERENCE WITH ESTABLISHMENT AND MAINTENANCE OF VEGETATION.
- APPLY LIME ACCORDING TO SOIL TEST RECOMMENDATIONS. SOILS WITH pH HIGHER THAN 6 NEED NOT BE LIMED. IF pH IS NOT KNOWN, APPLY LIME ACCORDING TO SEEDING SPECIFICATIONS BELOW. APPLY LIMESTONE AND INCORPORATE INTO TOP 4\"/>
- APPLY FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF NO SOIL TEST HAS BEEN PERFORMED, APPLY FERTILIZER ACCORDING TO SEEDING SPECIFICATIONS BELOW.
- ROUGHEN SEEDBED SURFACE PRIOR TO APPLICATION. GROOVE OR FURROW SLOPES STEEPER THAN 3:1.
- FOR TEMPORARY SEEDING OF AREAS WHICH WILL NOT BE BROUGHT TO FINAL GRADE FOR MORE THAN 15 WORKING DAYS, FOLLOW THE TEMPORARY SEEDING SPECIFICATIONS BELOW.

#### PERMANENT SEEDING SPECIFICATIONS - (PS)

##### LOW MAINTENANCE AREAS

STEEP SLOPES OR STONY, SHALLOW OR DRY SOILS

DATES	TYPE	RATE
AUG. 25 - SEPT. 15	TALL FESCUE	100 LB/ACRE
FEB. 15 - MAR. 21	SERICEA LESPEDEZA	30 LB/ACRE
	KOBE LESPEDEZA	10 LB/ACRE

GENTLE SLOPES, AVERAGE SOILS

DATES	TYPE	RATE
AUG. 25 - SEPT. 15	TALL FESCUE	80 LB/ACRE
FEB. 15 - MAR. 21	SERICEA LESPEDEZA	20 LB/ACRE
	KOBE LESPEDEZA	10 LB/ACRE

##### HIGH MAINTENANCE AREAS

GENTLE SLOPES, SOILS WITH AVERAGE OR BETTER MOISTURE, COOL SITES

DATES	TYPE	RATE
AUG. 25 - SEPT. 15	BLEND OF TWO TURF-TYPE TALL FESCUES (90%) AND TWO OR MORE KENTUCKY BLUEGRASS VARIETIES (10%)	200 - 250 LB/ACRE

GENTLE SLOPES, DRIER SOILS, PHYSICAL LIMITATIONS

DATES	TYPE	RATE
AUG. 25 - SEPT. 15	BLEND OF 50% KY-31 TALL-200 - 250 LB/ACRE FESCUE AND 50% MIXTURE OF TWO OR MORE TURF TYPE TALL FESCUES	200 LB/ACRE OR 4 - 5 LB/1000 SF

GRASS-LINED CHANNELS, AVERAGE SOILS

DATES	TYPE	RATE
AUG. 25 - OCT.	TALL FESCUE	200 LB/ACRE OR 4 - 5 LB/1000 SF

GRASS-LINED CHANNELS, DRY SOILS

DATES	TYPE	RATE
APRIL 15 - JUNE 30	COMMON BERMUDA GRASS	40 - 80 LB/ACRE OR 1 - 2 LB/1000 SF

AMENDMENTS SHALL BE APPLIED AT THE RATE OF 4000 LB/ACRE OF GROUND AGRICULTURAL LIMESTONE AND 1000 LB/ACRE OF 10-10-10 FERTILIZER. DRY SOIL, GRASS-LINED CHANNELS SHALL USE 3000 LB/ACRE OF GROUND AGRICULTURAL LIMESTONE AND 500 LB/ACRE OF 10-10-10 FERTILIZER. MULCH SHALL BE APPLIED AT THE RATE OF 4000 LB/ACRE OF STRAW. STRAW SHALL BE ANCHORED BY TACKING WITH ASPHALT. NETTING OR MULCH ANCHORING TOOL. JUTE OR EXCELSIOR MATTING SHALL BE USED IN GRASS LINED CHANNELS TO CALCULATED HIGH WATER DEPTH.

#### TEMPORARY SEEDING SPECIFICATIONS - (TS)

DATES	TYPE	RATE	AMENDMENTS
JAN. 1 - MAY 1	RYE (GRAIN)	120 LB/ACRE	2000 LB/ACRE GROUND AGRICULTURAL LIME-STONE AND 750 LB/ACRE OF 10-10-10 FERTILIZER
FEB. 15 - MAR. 21	ANNUAL LESPEDEZA OR LOBE	50 LB/ACRE	

DATES	TYPE	RATE	AMENDMENTS
MAY 1 - AUG. 15	GERMAN MILLET	40 LB/ACRE	2000 LB/ACRE GROUND AGRICULTURAL LIME-STONE AND 750 LB/ACRE OF 10-10-10 FERTILIZER

DATES	TYPE	RATE	AMENDMENTS
AUG. 15 - DEC. 30	RYE (GRAIN)	120 LB/ACRE	2000 LB/ACRE GROUND AGRICULTURAL LIME-STONE AND 1000 LB/ACRE OF 10-10-10 FERTILIZER

MULCH SHALL BE APPLIED AT THE RATE OF 4000 LB/ACRE. STRAW SHALL BE ANCHORED BY TACKING WITH ASPHALT. NETTING OR MULCH ANCHORING TOOL.

GRADED SLOPES AND FILLS - THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE WHICH CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED SHALL, WITHIN 21 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.

GROUND COVER - WHENEVER LAND DISTURBING ACTIVITY IS UNDERTAKEN ON A TRACT COMPRISING MORE THAN ONE ACRE, IF MORE THAN ONE

CONTIGUOUS ACRE IS UNCOVERED A GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE PLANTED OR OTHERWISE PROVIDED WITHIN 21 CALENDAR DAYS ON THAT PORTION OF THE TRACT UPON WHICH FURTHER ACTIVE CONSTRUCTION IS NOT BEING UNDERTAKEN, PROVIDED THAT THIS SHALL NOT APPLY TO CLEARED LAND FORMING THE BASIN OF A RESERVOIR LATER TO BE INUNDATED.

ALL DESIGNS, SKETCHES, DRAWINGS, SPECIFICATIONS, MODELS AND SAMPLES ARE THE EXCLUSIVE PROPERTY OF THE H. CHAMBERS COMPANY, WHETHER THE JOB FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. UNAUTHORIZED USE OF THESE DESIGNS ETC. FOR ANY OTHER PURPOSE IS PROHIBITED.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB, INCLUDING BUILDING, ELEVATOR AND CORRIDOR CLEARANCES. WHERE JOB CONDITIONS PREVENT OBTAINING DIMENSIONS, OR RESULTS AS SHOWN OR SPECIFIED, CHECK WITH THE H. CHAMBERS COMPANY BEFORE PROCEEDING WITH THE WORK.

### Issue

	TYPE	DATE
●	SCHEMATIC DESIGN	12.18.13
●	DESIGN DEVELOPMENT	05.23.14
●	100% CD	06.27.14
●	BID AND PERMIT SET	07.25.14
	FOR CONSTRUCTION	-

### Revisions

NO.	TYPE	DATE

SEAL



## CHAMBERS

ARCHITECTURAL ASSOCIATES



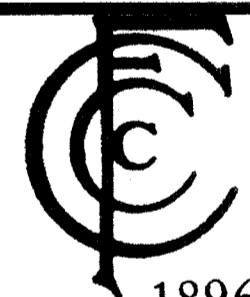
PLANNING  
ARCHITECTURE  
INTERIOR DESIGN  
PURCHASING

**ARCHITECT & INTERIORS**  
CHAMBERS  
1800 WASHINGTON BLVD.  
SUITE 111  
BALTIMORE, MARYLAND 21230  
PHONE: (410) 727-4535  
FAX: (410) 727-6982



community infrastructure consultants  
Transportation + Water Resources  
Urban Development + Geomatics

909 MARKET STREET  
WILMINGTON, NC 28401  
(t) (910) 762-4200  
(f) (910) 762-4201  
www.wkdickson.com  
LICENSE NO. F-0374  
DENISE L. FREUND, PE



**FAMILY ACTIVITY**  
**CENTER - CAPE FEAR**  
**COUNTRY CLUB**  
1518 COUNTRY CLUB ROAD

### Sheet Title

**EROSION CONTROL**  
**DETAILS**

Scale: AS SHOWN

Date: 07/25/14

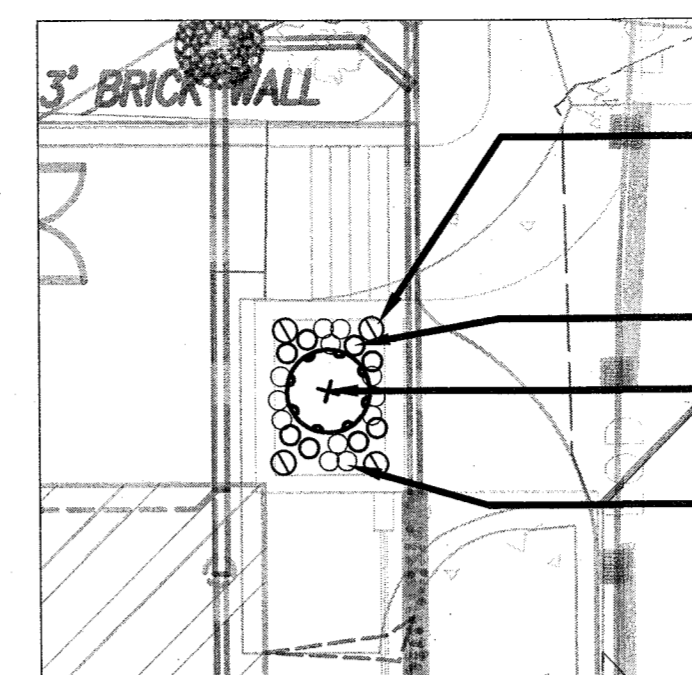
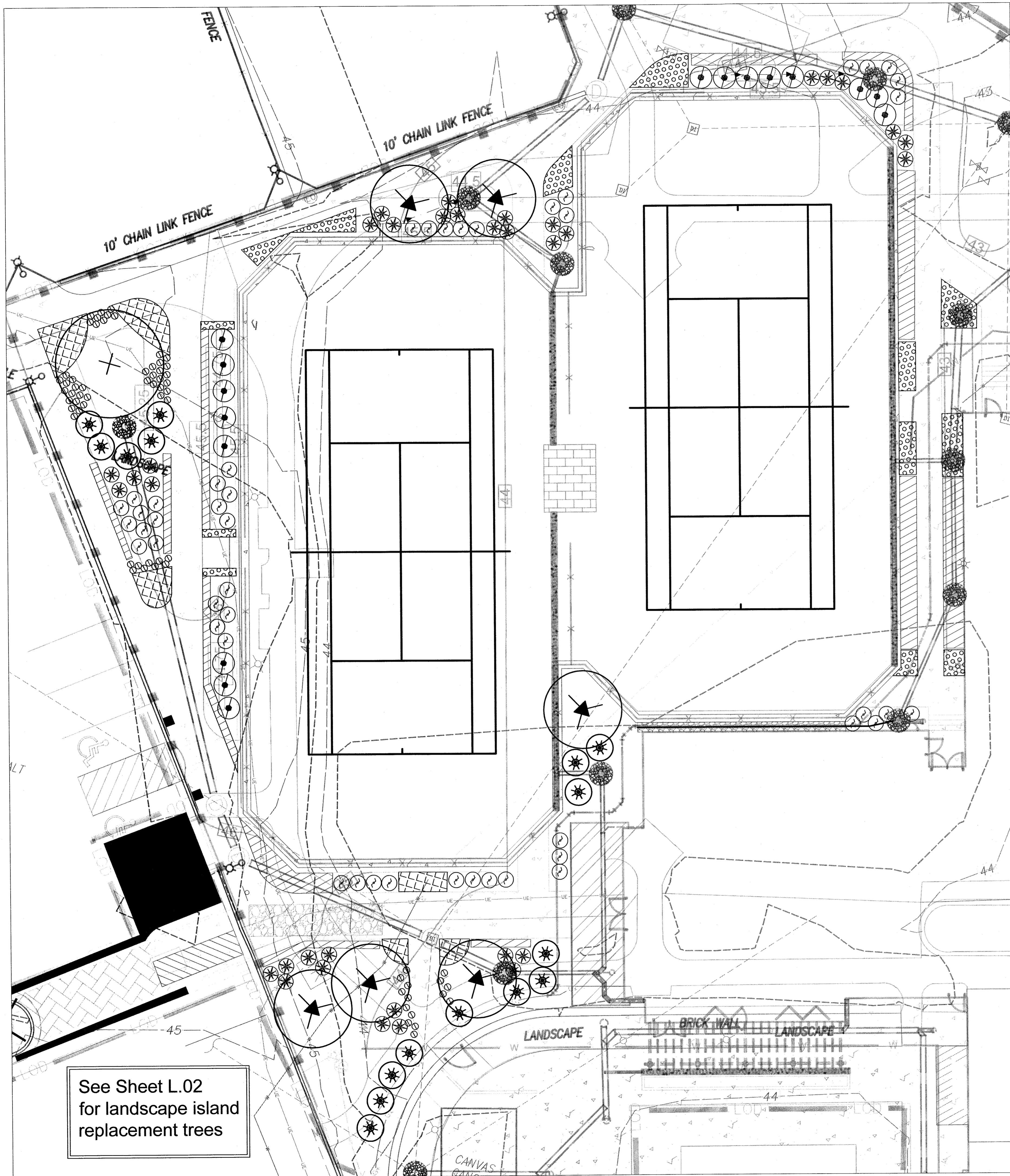
Drawn By: HRW

Checked By: DLF

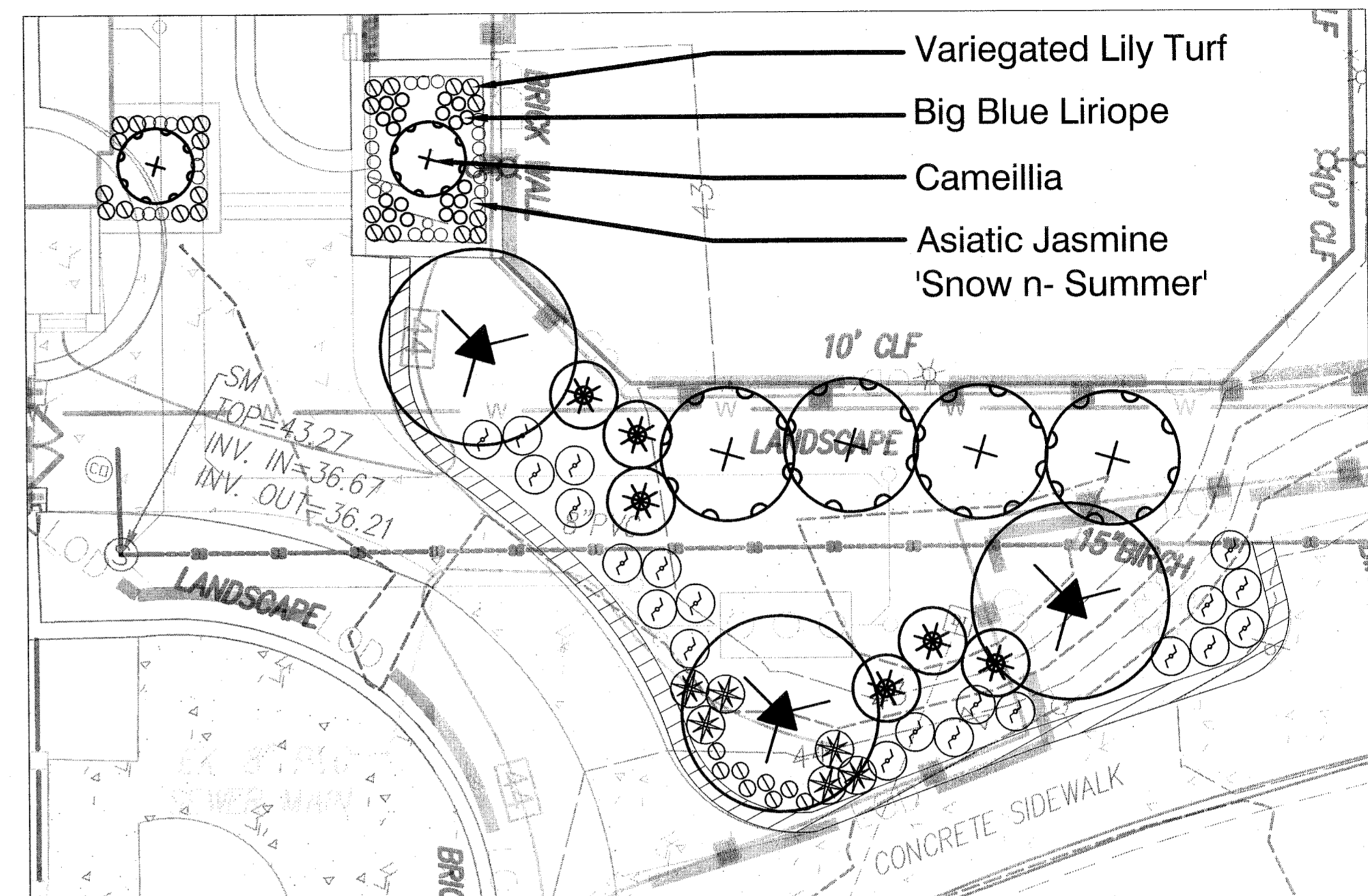
Job No.: 20130125.00.WL

Sheet Number

**C.13**

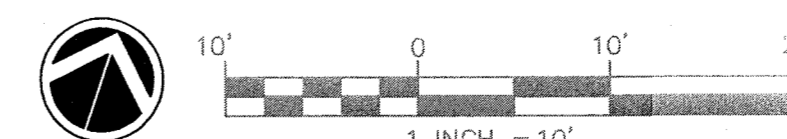


Northern Planter



South Planters and landscape bed (east of new Activity Center)

- PLANTING LEGEND**
- TREES**
- + Live Oak 'high rise'  
quercus virginiana 'high rise'  
10' Hgt. 2.5" caliper min Qty: 1
  - \* Grape Myrtle  
Ligustrum indica 'Natchez'  
8'-10' Hgt. multi-stem Qty: 9
- SHRUBS**
- + Osmanthus  
Osmanthus fragrans  
15 gal. 6" Hgt. Qty: 4
  - + Camellia White, for containers  
Camellia azarquai 'Flora Jemini'  
6 gallon 4" height Qty: 2
  - \* Gardenia 'Nellie's hardy'  
gardenia jasminoides 'Nellie's hardy'  
7 gal 36" Ht. x 36" Sp. Qty: 22
  - + Ilex  
Ilex glabra  
5 gal 36" Ht. x 24" Sp. Qty: 16
  - + Dwarf Plum Yew  
opholobatus hammondi 'brodiaei'  
3 gal 12" Ht. x 12" Sp. Qty: 66
  - + Purple Oriental Grass  
peristichum orientale 'Karye ras'  
3 gal 12" Ht. x 12" Sp. Qty: 41
  - + Blue gray sedge  
carex glauca  
1-3 gal 12" Ht. x 12" Sp. Qty: 65
  - + Asiatic Jasmine 'snow n summer'  
trachelospermum asiaticum 'snow n summer'  
1 gal Qty: 30
- GROUNDCOVERS AND MULCHES**
- + Big Blue Liriope  
Liriope muscarif 'big blue'  
plugs or 1 gal. divided @ 18" O.C.  
10,700 sf = 4790 plugs
  - + Variegated Lily Turf  
Liriope muscarif 'variegated'  
Plugs or 1 Gal. divided @ 18" O.C.  
4330 sf = 2790 plugs
  - + Seasonal Flowers to be determined by Staff  
& based on installation season  
3190 sf @ 20" O.C. =
  - Dark Hardwood Mulch 3" deep - all beds



NOTES:  
CONTRACTOR TO PROVIDE CONTINUOUS SUPPLY OF WATER FOR IRRIGATION SYSTEMS, TENNIS COURT AND LANDSCAPE AREAS, OUTSIDE OF THE PROJECT LIMITS AND COORDINATE ANY NECESSARY SLEEVES OR CONDUIT REQUIRED TO MAINTAIN THESE CONNECTIONS PRIOR TO INSTALLATION OF HARD SCAPE

CONTRACTOR TO DESIGN, PERMIT AND PROVIDE IRRIGATION SYSTEMS FOR CLAY COURTS AND LANDSCAPING IN ACCORDANCE WITH PROJECT SPECIFICATIONS.

PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

PLEASE SEE CIVIL SHEET C.05 UTILITY PLAN FOR DETAILED UTILITY INFORMATION. ALL EXISTING AND PROPOSED UTILITIES ARE INDICATED ON THIS PLAN SHEET FOR REFERENCE TO LANDSCAPE LOCATION ONLY.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**City of WILMINGTON**  
Public Services Engineering Division  
APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

**City of WILMINGTON**  
APPROVED CONSTRUCTION PLAN

Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

**SageDesign**  
SageDesign PLLC  
Sara Burroughs, RLA  
228 North Front Street  
Suite 202D  
Wilmington, NC 28401  
Ph. (910)232-3878  
sara@sagedesign.us



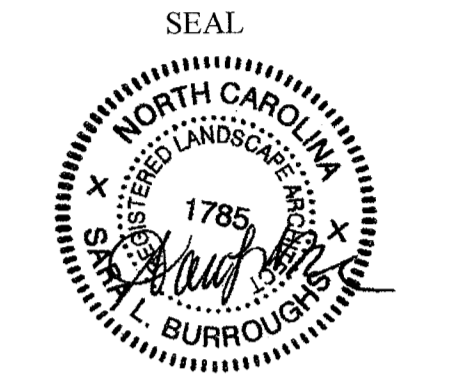
BEFORE YOU DIG!  
CALL 800-832-4949  
N.C. ONE-CALL CENTER  
IT'S THE LAW!

ALL DESIGNS, SKETCHES, DRAWINGS, SPECIFICATIONS, MODELS AND SAMPLES ARE THE EXCLUSIVE PROPERTY OF THE H. CHAMBERS COMPANY. WHETHER THE JOB FOR WHICH THEY ARE MADE IS EXECUTED OR NOT UNAUTHORIZED USE OF THESE DESIGNS ETC. FOR ANY OTHER PURPOSE IS PROHIBITED.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB INCLUDING BUILDING, ELEVATOR AND CORRIDOR CLEARANCES WHERE JOB CONDITIONS PREVENT OBTAINING DIMENSIONS, OR RESULTS AS SHOWN OR SPECIFIED, CHECK WITH THE H. CHAMBERS COMPANY BEFORE PROCEEDING WITH THE WORK.

Issue		
	TYPE	DATE
●	SCHEMATIC DESIGN	12.18.13
●	DESIGN DEVELOPMENT	05.23.14
●	70% CD	-
●	PERMIT SET	7.25.14
●	FOR BID	7.25.14

Revisions		
NO.	TYPE	DATE
1	TRC response edits	07.08.14



**CHAMBERS**  
ARCHITECTURAL ASSOCIATES

- PLANNING
- ARCHITECTURE
- INTERIOR DESIGN
- PURCHASING

ARCHITECT & INTERIORS  
CHAMBERS  
1800 WASHINGTON BLVD.  
SUITE 111  
BALTIMORE, MARYLAND 21230  
PHONE: (410) 727-4535  
FAX: (410) 727-6982

**WK DICKSON**  
community infrastructure consultants  
Transportation + Water Resources  
Urban Development + Geomatics

909 MARKET STREET  
WILMINGTON, NC 28401  
(t) (910) 762-4200  
(f) (910) 762-4201  
www.wkdickson.com  
LICENSE NO. F-0374



FAMILY ACTIVITY  
CENTER - CAPE FEAR  
COUNTRY CLUB

Sheet Title

Landscape Plan

Scale: 1" = 10' - 0"

Date: 7.25.14

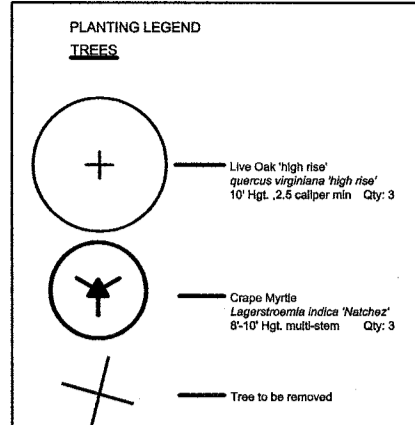
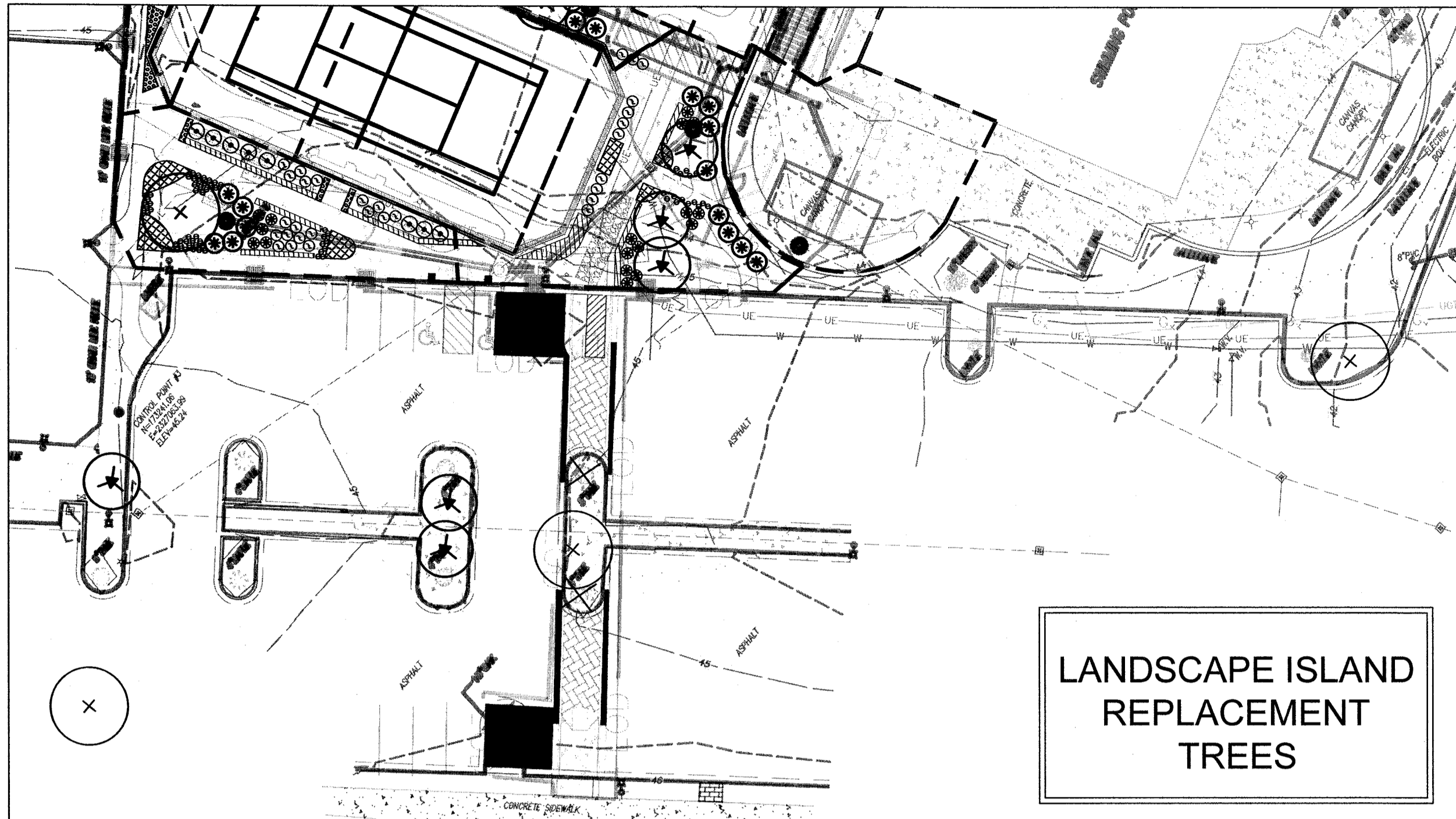
Drawn By: SLB

Checked By: SLB

Job No.:

Sheet Number

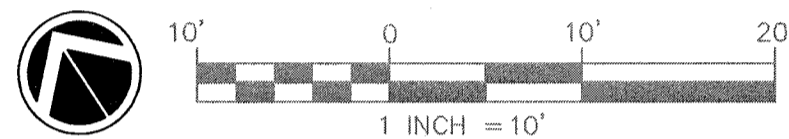
**L.01**



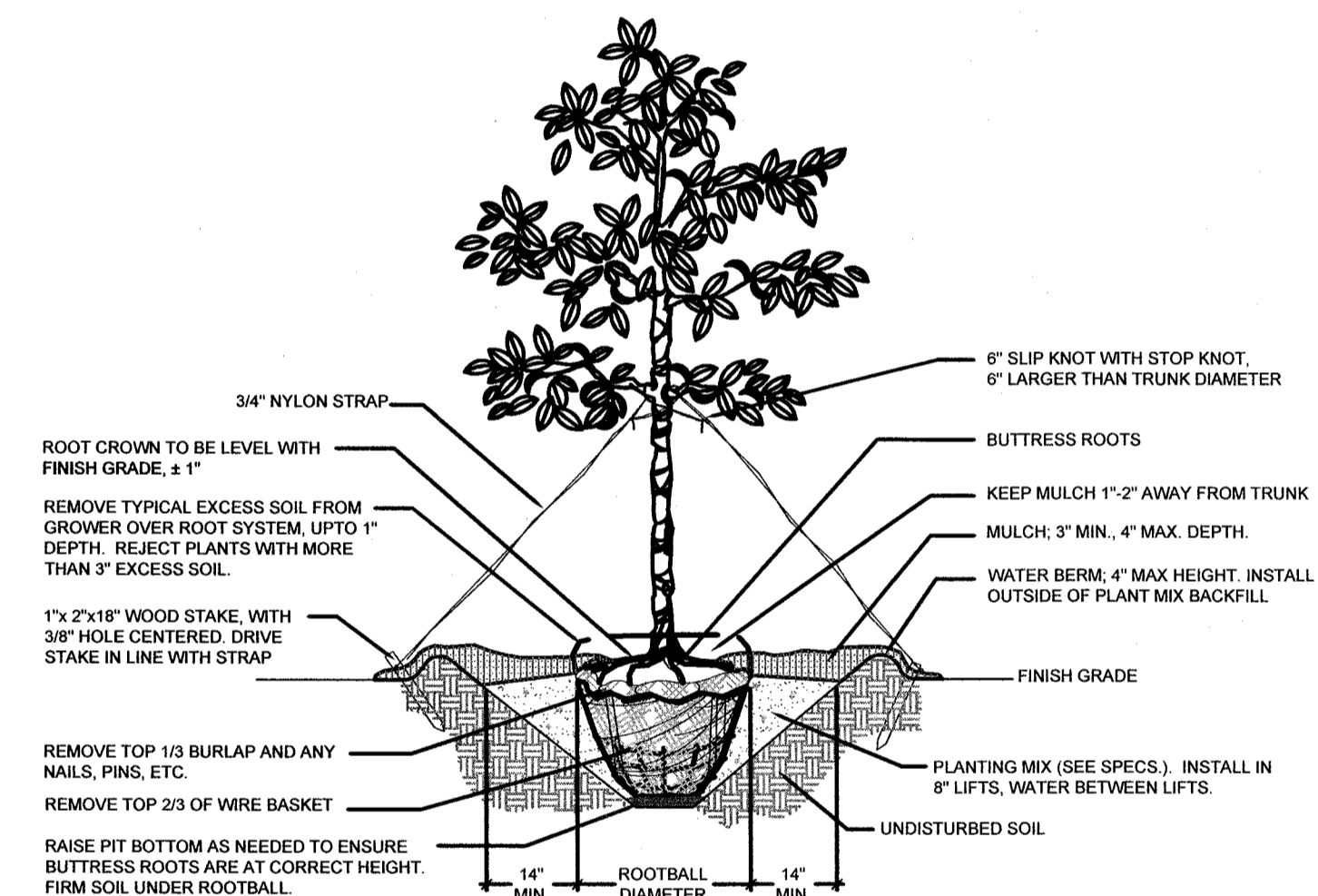
#### REPLACEMENT NOTES:

- Three (3) Trees to be removed:
  - (1) 10' Oak
  - (2) 5' Crape Myrtles
- Replacement ratio:
  - 10' Oak x 100% = 3 = 3 trees (3 live oak high rise)
  - 5' x 5' x 100% = 3 = 3 trees (3 crape myrtles)
- No parking space shall be greater than 120' from a landscape island.
- Live Oak in center island shall be located to maintain a clear accessible route.
- No parking space is more than 120' from a landscape island.

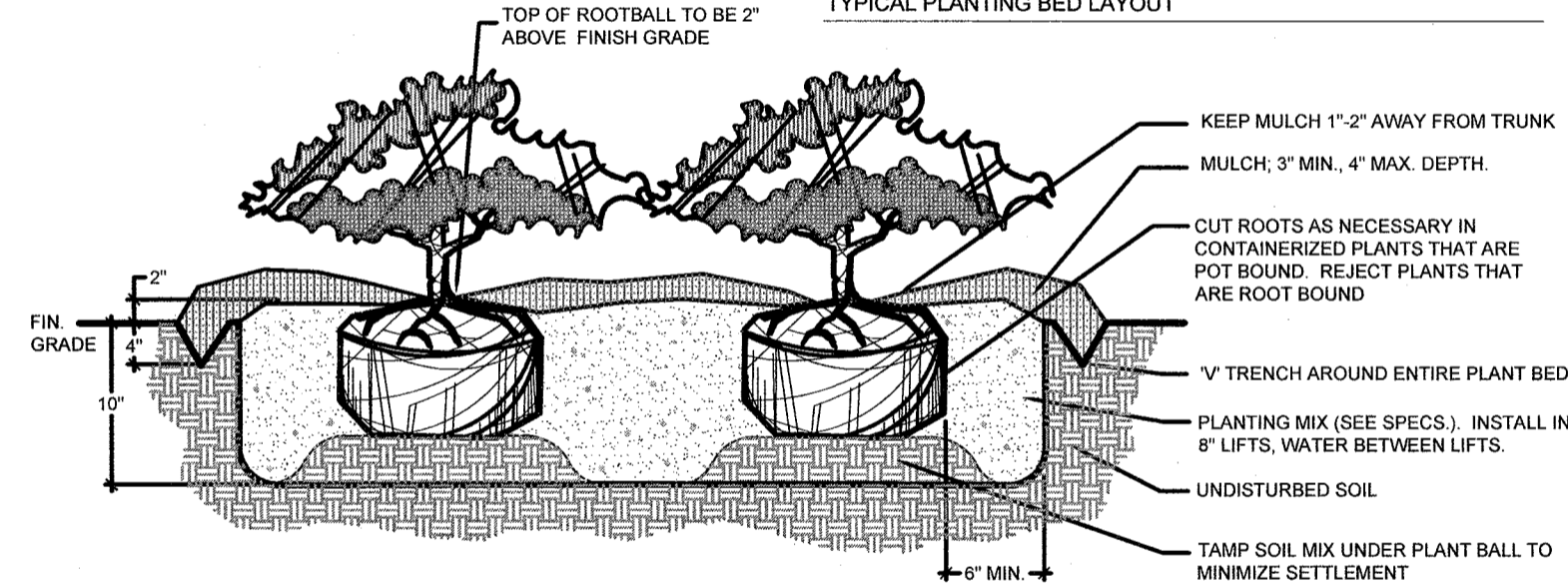
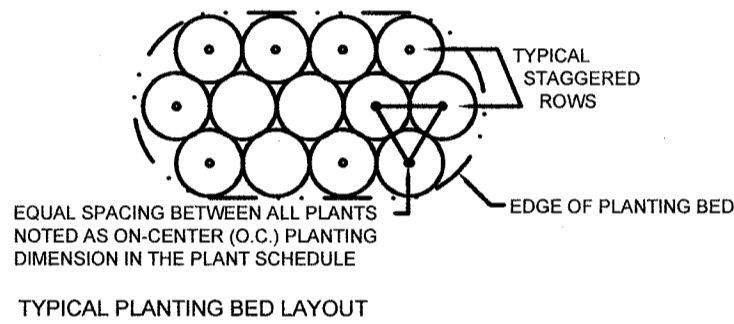
### LANDSCAPE ISLAND REPLACEMENT TREES



#### PLANTING ISLAND REPLACEMENT TREES



**A SINGLE STEM TREE INSTALLATION DETAIL**  
SCALE: NTS



**B SHRUB INSTALLATION DETAIL**  
SCALE: NTS

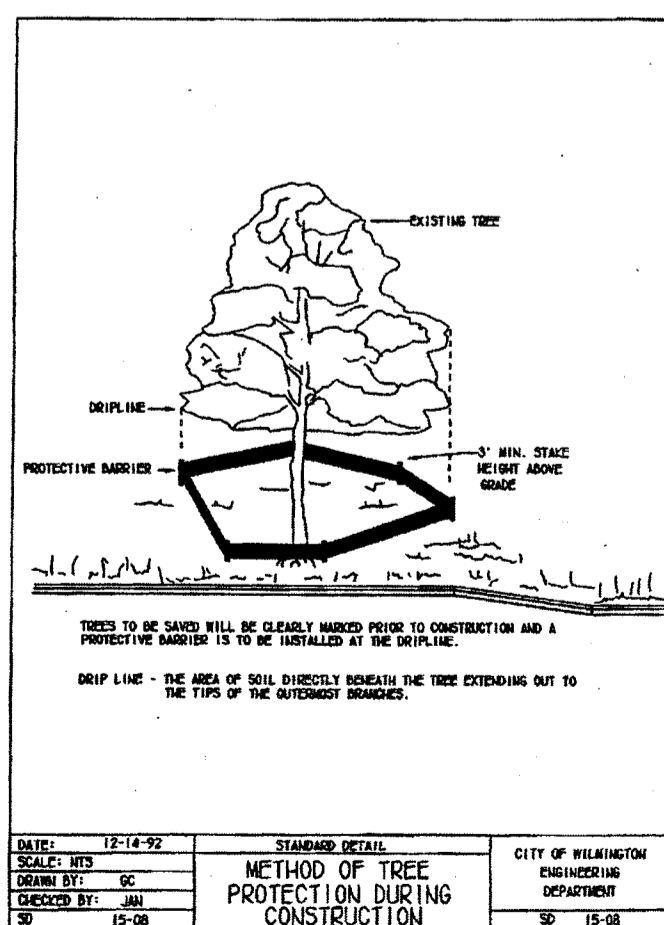
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
Public Services Engineering Division  
APPROVED DRAINAGE PLAN

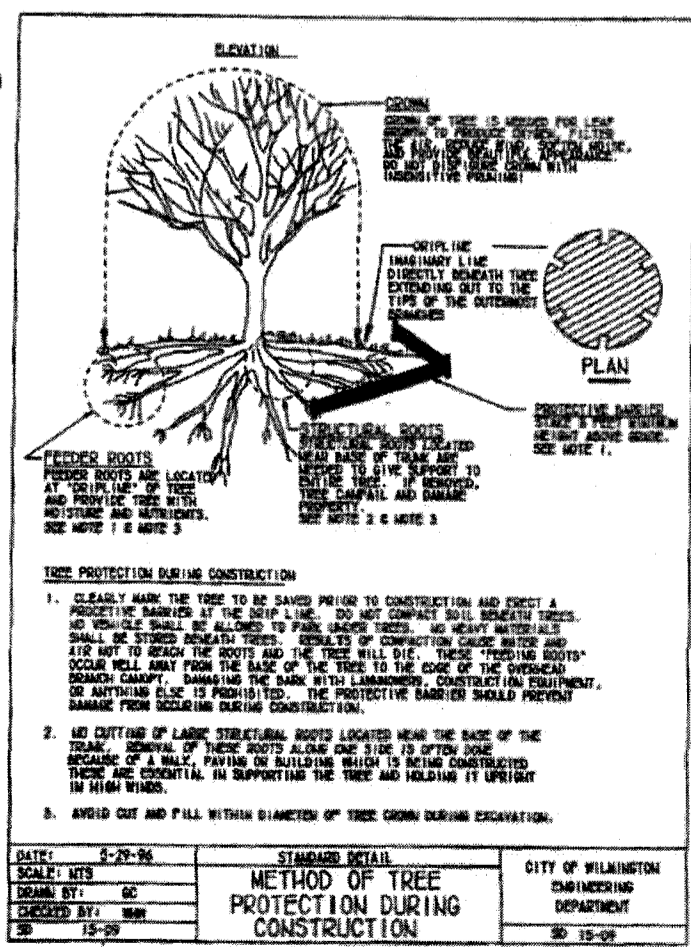
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

**CITY OF WILMINGTON**  
Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_



**C CITY TREE PROTECTION FENCE DETAIL**  
SCALE: NTS



See engineers demolition plans for tree protection locations

#### PLANT MATERIAL NOTES

- ALL PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
- CONTAINERIZED PLANTS SHALL HAVE A ROOT SYSTEM SUFFICIENT ENOUGH IN DEVELOPMENT TO HOLD THE SOIL INTACT WHEN REMOVED FROM THE CONTAINER. THE ROOT SYSTEM SHALL NOT BE ROOT BOUND, A CONDITION WHERE THE ROOT SYSTEM IS DENSE IN MASS, EXCESSIVELY INTERTWINED, AND HAS ESTABLISHED A CIRCULAR GROWTH PATTERN.
- ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY UNLESS APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SHIPMENT.
- ALL TREE PITS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
- TOPSOIL AMENDMENTS REQUIRED FOR SOIL MIXES SHALL BE PROVIDED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR MUST LOAD, HAUL, MIX AND SPREAD ALL TOPSOIL AND OTHER SOIL ADDITIVES AS REQUIRED ON SITE.
- CONTRACTOR SHALL VERIFY AND/OR AMEND ALL PLANTING SOILS TO ENSURE PROPER SUITABILITY INCLUDING STATE RECOMMENDED QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENTS AND SOIL AMENDMENTS TO BE ADDED TO PRODUCE QUALITY PLANTING SOIL FOR ALL PLANT MATERIAL TO SURVIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PLANTING PITS PERCOLATE PROPERLY PRIOR TO PLANTING INSTALLATION.
- SHRUBS, BULBS, AND GROUNDCOVERS SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON PLANTING PLANS AND/OR IN THE PLANT SCHEDULE.
- THE CONTRACTOR SHALL VERIFY EXTENT OF SEEDING OR SOD AREA WITH OWNER REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- INSTALLATION OF PLANT MATERIAL TO BE COMPLETED BY CITY CREW AND WILL BEGIN UPON COMPLETION OF PARKING LOT AND HARDSCAPE.
- IRRIGATION LAYOUT AND PLAN BY OTHERS. NEW IRRIGATION LINES SHALL CONNECT TO THE EXISTING SYSTEM AND WATER SUPPLY AS INDICATED ON PLANS.
- CONTRACTOR TO DESIGN, PERMIT AND PROVIDE IRRIGATION SYSTEMS FOR CLAY COURTS AND LANDSCAPING IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
- CONTRACTOR TO PROVIDE CONTINUOUS SUPPLY OF WATER FOR IRRIGATION SYSTEMS, TENNIS COURT AND LANDSCAPE AREAS, OUTSIDE OF THE PROJECT LIMITS AND COORDINATE ANY NECESSARY SLEEVES OR CONDUIT REQUIRED TO MAINTAIN THESE CONNECTIONS PRIOR TO INSTALLATION OF HARDSCAPE.

#### TREE INSTALLATION NOTES

- ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI, 1990, PART 1, "SHADE AND FLOWERING TREES").
- TREES SUPPLIED MUST HAVE BEEN PROPERLY PLANTED AND GROWN IN THE NURSERY. THE ROOT CROWN (ALSO CALLED THE TRUNK FLARE) SHALL BE EVIDENT NEAR THE TOP OF THE GROUND. ANY EXCESS SOIL, UP TO 3 INCHES COVERING THE CROWN WILL HAVE TO BE REMOVED CAREFULLY BY HAND, IN ORDER TO PREVENT ROOT SCRAPES. THE TREE IS THEN TO BE PLANTED WITH THE ROOT CROWN IN PROPER RELATION TO THE SURROUNDING GRADE. ANY TREES WITH MORE THAN 3 INCHES OF SOIL ON TOP OF THE ROOT CROWN WILL BE REJECTED. THE NURSERY OWNERS MAY DIG OVERSIZE BALLS AND REMOVE THE SOIL IN ORDER FOR THE ROOT SYSTEM DIAMETER (WHICH IS THE REQUIRED ROOT BALL DIAMETER) TO MEET THE SPECIFICATION FOR THE TRUNK CALIPER REQUIRED.
- BALL AND BURLAPPED (B&B) PLANTS MUST HAVE FIRM, NATURAL BALLS OF EARTH, OF DIAMETER NOT LESS THAN RECOMMENDED IN THE "TREE AND SHRUB TRANSPLANTING MANUAL", AND BE OF SUFFICIENT DEPTH TO INCLUDE THE FIBROUS AND FEEDING ROOTS. PLANTS MOVED WITH A BALL WILL NOT BE ACCEPTED IF THE BALL IS DRY, CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATIONS.
- REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, STRAPPING, WIRE OR NYLON TWINE FROM ROOT BALL. AFTER SETTING IN HOLE, CUT AWAY 2/3 OF WIRE BASKET, IF ANY, AND TOP 1/3 OF BURLAP.
- SOAK ROOT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.
- CONSTRUCT 4" HIGH SAUCER (WATER BERM) OUTSIDE OF PLANT MIX BACK FILL.
- WHERE TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
- NO EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER REPRESENTATIVE EXCEPT WHERE NOTED ON PLANS. NO GRUBBING SHALL OCCUR WITHIN EXISTING TREE AREAS.
- THE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PROPOSED TREES AND OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL TREES SHALL BE STAKED AT TIME OF INSTALLATION IN ACCORDANCE WITH PLANTING DETAILS.
- THE CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
- STAKES FOR TREE SUPPORT SHALL BE CONSTRUCTED OF 2"x2" x18" UNTREATED PINE. GUYING FABRIC SHALL BE "ARBOR TAPE", AS MANUFACTURED BY NEPTCO, PAWTUCKET, RI. (401) 722-5500 (OR APPROVED EQUAL). COLOR SHALL BE OLIVE DRAB.

#### SHRUB INSTALLATION NOTES

- CUT ROOTS AS NECESSARY IN CONTAINERIZED PLANTS THAT ARE POT BOUND. REJECT PLANTS THAT HAVE GIRDLED ROOT OR ARE BOUND.
- INSTALL TOP OF PLANT BALL 2" ABOVE ADJACENT GRADE.
- TAMP PLANT SOIL MIX FIRMLY IN 8" LIFTS AROUND PLANT BALL.
- SOAK PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



**SageDesign**  
SageDesign PLLC  
Sara Burroughs, R.L.A.  
228 North Front Street  
Suite 202D  
Wilmington, NC 28401  
Ph. (910) 232-3878  
sara@sagedesign.us

BEFORE YOU DIG!  
CALL 1-800-632-4949  
N.C. ONE-CALL CENTER  
IT'S THE LAW!

ALL DESIGNS, SKETCHES, DRAWINGS, SPECIFICATIONS, MODELS AND SAMPLES ARE THE EXCLUSIVE PROPERTY OF THE H. CHAMBERS COMPANY, WHETHER THE JOB FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. UNAUTHORIZED USE OF THESE DESIGNS ETC. FOR ANY OTHER PURPOSE IS PROHIBITED.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB INCLUDING BUILDINGS, ELEVATOR AND CORRIDOR CLEARANCES WHERE JOB CONDITIONS PREVENT OBTAINING DIMENSIONS, OR RESULTS AS SHOWN OR SPECIFIED. CHECK WITH THE H. CHAMBERS COMPANY BEFORE PROCEEDING WITH THE WORK.

#### Issue

	TYPE	DATE
●	SCHEMATIC DESIGN	12.18.13
●	DESIGN DEVELOPMENT	05.23.14
●	70% CD	-
●	PERMIT SET	7.25.14
●	FOR BID	7.25.14

#### Revisions

NO.	TYPE	DATE
1	TRC response edits	07.08.14

#### SEAL



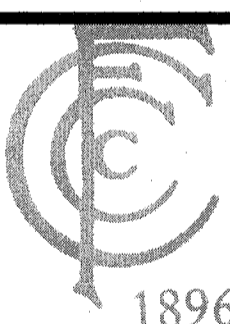
**H. CHAMBERS**  
ARCHITECTURAL ASSOCIATES

PLANNING  
ARCHITECTURE  
INTERIOR DESIGN  
PURCHASING

ARCHITECT & INTERIORS  
**CHAMBERS**  
1800 WASHINGTON BLVD.  
SUITE 111  
BALTIMORE, MARYLAND 21230  
PHONE: (410) 727-4535  
FAX: (410) 727-6982

**WK DICKSON**  
community infrastructure consultants  
Transportation + Water Resources  
Urban Development + Geomatics

909 MARKET STREET  
WILMINGTON, NC 28401  
(t) (910) 762-4200  
(f) (910) 762-4201  
www.wkdickson.com  
LICENSE NO. F-0374



FAMILY ACTIVITY  
CENTER - CAPE FEAR  
COUNTRY CLUB

Sheet Title

LANDSCAPE DETAILS

Scale: 1" = 10' - 0"

Date: 7.25.14

Drawn By: SLB

Checked By: SLB

Job No.:

Sheet Number

20130725.00.WL

**L02**